

Haverford Township Board of Commissioners Work Session Agenda

Date: April 7, 2025

Time: 7:00 PM

Location: Commissioners Meeting Room
1014 Darby Road
Havertown, PA 19083

1. Presentations

- a. Haverford Township Free Library
Margaret Fox-Tully, President, Board of Trustees

2. Commissioner Committee Updates

3. Police Department Crime Update

Next Week

4. Proclamations & Presentations

- a. Autism Awareness Month
- b. Arbor Day 2025
- c. Check Presentation from The JD McDonald Foundation

5. Approval of Warrants

6. Appointments:

- a. Environmental Advisory Committee – 1 Vacancy for Ward 6

7. Consent Agenda:

Consent Agenda items are grouped together in the agenda. These items are further detailed in the public packet. If there is a request from any member of the Board

for separate discussion of any items listed on the Consent Agenda, the item will be removed from the Consent Agenda and considered independently.

- a. Approval of Minutes of March 10, 2025
- b. Stipulations & Agreements – Escrow Release for 4008 Darby Road
- c. Stipulations & Agreements – Crossroads Figure Skating Club
- d. Purchase – Police – (77) Patrol Firearms/Mounted Light Systems
- e. Purchase – Police – Scott Air Packs
- f. Purchase – Public Works – Amendment to February 2025 Purchases
- g. Purchase – Public Works – Sanitation Truck & Equipment
- h. Purchase – Police – Automatic License Plate Readers
- i. Contract Award – Parks & Recreation – Gym Floor Installation & Refinishing
- j. Contract Award – Parks & Recreation – CREC Lobby LED Lighting

8. Ordinances:

- a. Ordinance No. 3014-2025 – Redistricting – 2nd Reading
Amending Portions of the Boundaries of Ward Precincts 3-4 and 4-4.
- b. Ordinance No. 3015-2025 – Traffic – 2nd Reading
Installing a Stop Sign on Rosewood Lane at Linden Drive.
- c. Ordinance No. P5-2025 – Traffic – 1st Reading
Installing Stop Signs in both directions on Hill Road at the Intersection with Leedom Road.
- d. Ordinance No. P6-2025 – Sewer Dedication – 1st Reading
Accepting the Dedication of a Sewer System at 4008 Darby Road.

9. Resolutions:

- a. Resolution No. 2447-2025 – Coopertown Elementary School Land Development
- b. Resolution No. 2448-2025 – 223 E. Park Road and 112 E. Township Line Road
Subdivision and Land Development

10. Stipulations & Agreements:

- a. Stipulations & Agreements – Tax Assessment Appeal
122 Joanna Road

11. Contract Awards:

- a. Haverford Township Free Library – Change Order – Rycon Construction
- b. Haverford Township Free Library – Change Order – Dolan Mechanical
- c. Haverford Township Free Library – Change Order – AJM Electric



Proclamation Recognizing Arbor Day in Haverford Township

Whereas, in 1872, J. Sterling Morton proposed to the Nebraska Board of Agriculture that a special day be set aside for the planting of trees, and

Whereas, this holiday, called Arbor Day, was first observed with the planting of more than a million trees in Nebraska, and

Whereas, Arbor Day is now observed throughout the nation and the world, and

Whereas, trees can reduce the erosion of our precious topsoil by wind and water, cut heating and cooling costs, moderate the temperature, clean the air, produce life-giving oxygen, and provide habitat for wildlife, and

Whereas, trees are a renewable resource giving us paper, wood for our homes, fuel for our fires and countless other wood products, and

Whereas, trees in our city increase property values, enhance the economic vitality of business areas, and beautify our community, and

Whereas, trees, wherever they are planted, are a source of joy and spiritual renewal.

Now, Therefore, be it Resolved that the Haverford Township Board of Commissioners, do hereby proclaim the last Friday in April as Arbor Day in Haverford Township, and urge all citizens to celebrate Arbor Day and to support efforts to protect our trees, parks and woodlands; and

Be it Further Resolved that the Board of Commissioners of the Township of Haverford urge all citizens to plant and care for trees to gladden the heart and promote the well-being of this and future generations.

Proclaimed this 14th day of April, 2025 by the Board of Commissioners of Haverford Township.

By: Judy Trombetta
President

Attest: David R. Burman
Township Manager/Secretary

Haverford Township Board of Commissioners Regular Meeting Minutes

Date: Monday, March 10, 2025

Meeting Time: 7:00 PM

Public Hearing: 6:15 PM (See Below)

Location: Commissioners Meeting Room
1014 Darby Road
Havertown, PA 19083

Public Hearing: 6:15 PM – Ordinance No. P3-2025

An Ordinance of Haverford Township, Delaware County, Pennsylvania, amending Chapter 37, Wards and Precincts, to amend portions of the boundaries of Ward Precincts 3-4 and 4-4 and the Ward Map to reapportion the Township's voting districts to contain nearly equal electors as practicable as officially and finally reported in the 2020 Federal Decennial Census.

A transcript of this hearing is available at the Haverford Township Municipal Services Building, 1014 Darby Road, Havertown, PA 19083.

1. Opening of Meeting

President Trombetta announced that the Board of Commissioners met in an Executive Session prior to the meeting to discuss a personnel-related matter.

2. Roll Call

All Commissioners were present at roll call: Commissioners Gondek, Forste-Grupp, Cavender, Holmes, Quinn, Hart, McCollum, McCloskey, and Trombetta.

Also present were Township Manager David R. Burman, Township Solicitor John Walko, Esq., Assistant Township Manager Aimee M. Cuthbertson, CPA, Township Auditor Ross Anderson, CPA, Chief of Police John Viola, Township Engineer David Pennoni, Chief of Emergency Medical Services Jim McCans, and Director of Parks & Recreation Brian Barrett.

3. Pledge of Allegiance

Chief Viola led the Pledge of Allegiance.

4. Proclamations

Women's History Month

Commissioner Cavender presented the Proclamation for Women's History Month.

5. Citizens' Forum: 20 Minutes for Registered Speakers, 20 Minutes for Agenda Items

Elizabeth Brown thanked the Board for presenting the Proclamation for Women's History Month and gave a statement in support of it.

Dory Dowdy, 6th Ward, voiced her opposition to Resolution No. 2446-2025. She also voiced her desire for Ward meetings to be more conversational.

Michael Lee also voiced his concern for Resolution No. 2446-2025. He also voiced his feeling that there is not enough communication in the Township and would also like to have Ward meetings to be more conversational.

Rachel Ambler, 3rd Ward, voiced her support for Resolution No. 2446-2025.

Todd Hall, 2nd Ward, voiced his opposition to Resolution No. 2446-2025.

Major Ross Peterson, 4th Ward, read an excerpt from the Declaration of Independence and his desire to focus on equality.

6. Bureau of Fire Update

Commissioner Gondek announced that in February, Haverford Township's fire companies responded to 67 total incidents, including 49 within the township and 18 out-of-township mutual aid. The average personnel per call was 18. There were 827 personnel hours committed to incidents and 872 personnel hours committed to training. The township provided mutual aid to 5 working fires in Delaware County and 1 in Lower Merion Township.

He reported that Oakmont Fire Company Ladder 38, staffed with 7 crew members, responded to the multi-alarm fire at SPS Technologies and was on scene for 7 hours.

Commissioner Gondek also announced that the Township's ISO Public Protection Classification increased from 04/04x to 03/03x.

Commissioner McCloskey echoed Commissioner Gondek's announcement and attributed the success to the fire departments and their personnel.

7. Township Auditor Update

Township Auditor Ross Anderson reported that he reviewed the warrants and expenditures, found no irregularities, and all his questions were answered to his satisfaction.

8. Township Manager Update

Township Manager David R. Burman shared that SEPTA started construction at the private Bus Way in the 6th Ward. Earlier in the day on March 10, SEPTA construction workers found a sink hole, so construction will continue into that evening. The project is projected to last 4 weeks.

He also announced that the Township is hosting a shredding event on March 29, 2025 from 8:00 AM to 11:00 AM, or until the truck fills up. He recommended arriving early.

9. Approval of Minutes

Commissioner Quinn moved to approve the Regular Meeting Minutes of February 10th, 2025. Commissioner Hart seconded the motion. All Commissioners voted YES: Commissioners Gondek, Forste-Grupp, Cavender, Holmes, Quinn, Hart, McCollum, McCloskey, and Trombetta.

10. Approval of Warrants

Commissioner Holmes moved to approve the following warrant #3-2025 totaling \$4,706,708.32:

General & Sewer Fund Payroll for Feb. 13, 2025, in the amount of \$790,096.61

General & Sewer Fund Payroll for Feb. 27, 2025, in the amount of \$918,468.52

General Fund disbursements in the amount of \$1,528,119.75

Sewer Fund disbursements in the amount of \$155,114.88

Community Development Block Grant Fund disbursement in the amount of \$35,823.04

Capital Projects Fund disbursements in the amount of \$979,135.08

American Rescue Plan Fund disbursements in the amount of \$283,909.91

Credit Card Statement ending Feb. 27, 2025, in the amount of \$16,040.53

Commissioner Cavender seconded the motion. All Commissioners voted YES: Commissioners Gondek, Forste-Grupp, Cavender, Holmes, Quinn, Hart, McCollum, McCloskey, and Trombetta.

11. Appointments

- A. Commissioner Gondek moved to appoint Christine Seewagen to the Crossroads Figure Skating Club Board of Directors for a term to commence on March 11, 2025, and to expire on June 30, 2026. Commissioner Forste-Grupp seconded the motion. All Commissioners voted YES: Commissioners Gondek, Forste-Grupp, Cavender, Holmes, Quinn, Hart, McCollum, McCloskey, and Trombetta.
- B. Commissioner McCloskey moved to appoint Cassandra Latsios to the Crossroads Figure Skating Club Board of Directors for a term to commence on March 11, 2025, and to expire on December 31, 2026. Commissioner Quinn seconded the motion. All Commissioners voted YES: Commissioners Gondek, Forste-Grupp, Cavender, Holmes, Quinn, Hart, McCollum, McCloskey, and Trombetta.
- C. Commissioner Forste-Grupp moved to appoint Sara Rochette to the Crossroads Figure Skating Club Board of Directors for a term to commence on March 11, 2025, and to expire on December 31, 2027. Commissioner Gondek seconded the motion. All Commissioners voted YES: Commissioners Gondek, Forste-Grupp, Cavender, Holmes, Quinn, Hart, McCollum, McCloskey, and Trombetta.
- D. Commissioner McCloskey moved to appoint Lisa Marie Camacho to the Friends of the Grange for a term to commence on March 11, 2025, and to expire on December 31, 2026. Commissioner Quinn seconded the motion. All Commissioners voted YES: Commissioners Gondek, Forste-Grupp, Cavender, Holmes, Quinn, Hart, McCollum, McCloskey, and Trombetta.
- E. Commissioner McCloskey moved to appoint Sylvan Hurewitz to the Human Relations Commission for a term to commence on March 11, 2025, and to expire on December 31, 2027. Commissioner Cavender seconded the motion. All Commissioners voted YES: Commissioners Gondek, Forste-Grupp, Cavender, Holmes, Quinn, Hart, McCollum, McCloskey, and Trombetta.
- F. Commissioner Hart moved to table the appointment to the Health Advisory Board for a term to commence on March 11, 2025, and to expire on December 31, 2029.

Commissioner Quinn seconded the motion. All Commissioners voted “aye.” The motion passed.

- G. Commissioner McCloskey moved to appoint Kimberly Juszczak as a representative of the Planning Commission to the Historical Commission. March 11, 2025, and to expire on December 31, 2025. Commissioner Forste-Grupp seconded the motion. All Commissioners voted YES: Commissioners Gondek, Forste-Grupp, Cavender, Holmes, Quinn, Hart, McCollum, McCloskey, and Trombetta.

12. Ordinances

- A. Ordinance No. 3013-2025 – Skatium Shop Lease Agreement – 2nd Reading

Commissioner Gondek moved to adopt the second reading of Ordinance No. 3013-2025, further amending and supplementing Ordinance 1960, adopted June 30, 1980, and known as the “General Laws of the Township of Haverford” authorizing the lease of certain Township grounds. Commissioner Quinn seconded the motion. All Commissioners voted YES: Commissioners Gondek, Forste-Grupp, Cavender, Holmes, Quinn, Hart, McCollum, McCloskey, and Trombetta.

- B. Ordinance No. 3015-2025 – Traffic – 1st Reading

Commissioner Holmes moved to adopt the first reading of Ordinance No. 3015-2025, further amending and supplementing Ordinance No. 1960, adopted June 30, 1986, and known as "General Laws of the Township of Haverford" Chapter 175, Vehicles and Traffic. He explained that the ordinance will install a stop sign at the corner of Rosewood Lane and Linden Drive. Commissioner Quinn seconded the motion. 8 Commissioners voted YES: Commissioners Gondek, Forste-Grupp, Cavender, Holmes, Quinn, Hart, McCollum, and Trombetta. Commissioner McCloskey voted NO. The motion passed 8-1.

- C. Ordinance No. P3-2025 – Redistricting – 1st Reading

Commissioner Cavender moved to adopt the first reading of Ordinance No. P3-2025, amending Chapter 37, “Wards and Precincts,” to amend portions of the boundaries of Ward Precincts 3-4 and 4-4 and the Ward Map to reapportion the Township's voting districts to contain nearly equal electors as practicable as officially and finally reported in the 2020 Federal Decennial Census. Commissioner Gondek seconded the motion. Commissioner Hart inquired about

the large size of the 3-4 precinct. Commissioner McCloskey clarified that it would not be too large, and that the new size is in line with Delaware County's census and redistricting rules. He stated that Ward 3 was 6.5% below the average and Ward 4 was 10.6% above the average, and the new boundaries would be closer to the average. There were no further comments. All Commissioners voted YES: Commissioners Gondek, Forste-Grupp, Cavender, Holmes, Quinn, Hart, McCollum, McCloskey, and Trombetta.

13. Resolutions

A. Resolution No. 2445-2025 – Comcast Cable Franchise Fee Renewal

Commissioner McCloskey moved to adopt Resolution No. 2445-2025, Authorizing Execution of a Cable Franchise Agreement Between the Township and Comcast of Pennsylvania, LLC. Commissioner Gondek seconded the motion. All Commissioners voted YES: Commissioners Gondek, Forste-Grupp, Cavender, Holmes, Quinn, Hart, McCollum, McCloskey, and Trombetta.

B. Resolution No. 2446-2025 – Township Support of Ukraine

Commissioner Forste-Grupp moved to adopt Resolution No. 2446-2025, establishing Haverford Township's support of the people of Ukraine and their democratically elected government and condemning Russia's war against them. She also read the resolution to clarify a few edits that were made. Commissioner Holmes seconded the motion.

Commissioner Gondek motioned to table the resolution in light of comments made during the public comment. Commissioner Quinn seconded the motion. 2 Commissioners voted YES: Commissioners Gondek and Quinn. 7 Commissioners voted NO: Commissioners Forste-Grupp, Cavender, Holmes, Hart, McCloskey, and Trombetta. The motion failed 2-7.

Commissioner McCollum stated that while he agrees with denouncing violence, he does not support the resolution because he believes that international politics do not have a place in Haverford Township. Commissioner Quinn also stated his dissent for the resolution because he believes his role as a Township Commissioner is not to focus on national and international issues. Commissioner Forste-Grupp commented that a threat to Ukraine's democracy is a threat to all democracy, even Haverford Township, which means it is Haverford's duty to respond. Commissioner Holmes explained the role of the Commissioners to

exercise their power to speak on topics through resolutions. Commissioner Gondek stated that while he agrees with what the resolution says, he believes that it is an unnecessary controversy during a period of already heightened political tension, but he will still support it. Commissioner Hart said that the resolution shows support for democracy, which is why he believes in it. Commissioner Holmes read a portion of the Declaration of Independence and stated that it is the opinion of mankind, mirroring the resolution. Commissioner Quinn mentioned that the wording of the resolution can be confused with speaking on behalf of the whole Township. Commissioner Holmes reassured that the resolution just speaks on behalf of the Board of Commissioners.

7 Commissioners voted YES: Commissioners Gondek, Forste-Grupp, Cavender, Holmes, Hart, McCloskey, and Trombetta. Commissioners Quinn and McCollum voted NO. The motion passed 7-2.

C. Stipulations & Agreements

Police Pension Plan – Service-Connected Disability Pension

Commissioner McCloskey moved to ratify a service-connected disability pension from the Police Pension Plan, effective March 1, 2025. Commissioner Quinn seconded the motion. All Commissioners voted YES: Commissioners Gondek, Forste-Grupp, Cavender, Holmes, Quinn, Hart, McCollum, McCloskey, and Trombetta.

Three Tax Assessment Appeals:

Commissioner McCloskey moved to approve the following Settlements and Stipulations of Counsel in the matter of owner-initiated property tax assessment appeals:

- For a property located at 45 Decatur Road
- For a property located at 111 Caenarvon Lane
- For a property located at 511 Kathmere Road

Commissioner Gondek seconded the motion. All Commissioners voted YES: Commissioners Gondek, Forste-Grupp, Cavender, Holmes, Quinn, Hart, McCollum, McCloskey, and Trombetta.

D. Contract Awards

N. Abbonizio Contractors, Inc. - Emergency Sanitary and Storm Sewer Repair Contract (2 years)

Commissioner McCollum moved to approve a unit price contract in the amount of \$947,900.00, based on estimated quantities, for Emergency Sewer Repairs to N. Abbonizio Contractors, Inc., having the lowest responsible and responsive bid. Commissioner Hart seconded the motion. Commissioner Forste-Grupp noted that Commissioner Gondek pointed out that N. Abbonizio was the only bidder that met the contractor apprenticeship requirements at the work session. She explained the benefits of the requirements. Eight Commissioners voted YES: Commissioners Forste-Grupp, Cavender, Holmes, Quinn, Hart, McCollum, McCloskey, and Trombetta. Commissioner Gondek voted NO. The motion passed 8-1.

G&B Construction Group – Oakford Road Culvert Repairs

Commissioner Holmes moved to approve a contract for the Oakford Road Culvert Repairs in the amount of \$144,640.00 to G&B Construction Group, having the lowest responsible and responsive bid. Commissioner Quinn seconded the motion. All Commissioners voted YES: Commissioners Gondek, Forste-Grupp, Cavender, Holmes, Quinn, Hart, McCollum, McCloskey, and Trombetta.

Detwiler Roofing – Grange Necessary Roof Replacement

Commissioner Holmes moved to approve a contract for the Grange Necessary Roof Replacement Project in the amount of \$115,050.00 to Detwiler Roofing, having the lowest responsible and responsive bid. Commissioner Cavender seconded the motion. All Commissioners voted YES: Commissioners Gondek, Forste-Grupp, Cavender, Holmes, Quinn, Hart, McCollum, McCloskey, and Trombetta.

Library:

Premier Concrete – 1 Mill Road Final Sitework for Parking Lot

Commissioner Forste-Grupp moved to approve a contract for 1 Mill Road Final Sitework for the Parking Lot in the amount of \$248,850.00 to Premier Concrete, under the Pennsylvania COSTARS Cooperative Purchasing Program. Commissioner Cavender seconded the motion. All Commissioners voted YES: Commissioners Gondek, Forste-Grupp, Cavender, Holmes, Quinn, Hart, McCollum, McCloskey, and Trombetta.

Rycon Construction (General Contractor) – Change Order

Commissioner Forste-Grupp moved to approve a change order in the credit amount of (\$176,000.00) with Rycon Construction, the General Contractor for the Haverford Township Free Library Renovation and Expansion Project.

Commissioner Gondek seconded the motion. Commissioner Quinn noted the pleasure of having a credit change order. All Commissioners voted YES: Commissioners Gondek, Forste-Grupp, Cavender, Holmes, Quinn, Hart, McCollum, McCloskey, and Trombetta.

AJM Electric (Electrical Contractor) – Change Order

Commissioner Forste-Grupp moved to approve a change order in the amount of \$165,915.10, including a no-cost time extension, with AJM Electrical, the Electrical Contractor for the Haverford Township Free Library Renovation and Expansion Project. Commissioner Cavender seconded the motion. All Commissioners voted YES: Commissioners Gondek, Forste-Grupp, Cavender, Holmes, Quinn, Hart, McCollum, McCloskey, and Trombetta.

Dolan Mechanical (Plumbing Contractor) – Change Order

Commissioner Forste-Grupp to approve a no-cost time extension with Dolan Mechanical, the Plumbing Contractor for the Haverford Township Free Library Renovation and Expansion Project. Commissioner Cavender seconded the motion. All Commissioners voted YES: Commissioners Gondek, Forste-Grupp, Cavender, Holmes, Quinn, Hart, McCollum, McCloskey, and Trombetta.

Dolan Mechanical (HVAC Contractor) – Change Order

Commissioner Forste-Grupp moved to approve a no-cost time extension with Dolan Mechanical, the HVAC Contractor for the Haverford Township Free Library Renovation and Expansion Project. Commissioner Cavender seconded the motion. All Commissioners voted YES: Commissioners Gondek, Forste-Grupp, Cavender, Holmes, Quinn, Hart, McCollum, McCloskey, and Trombetta.

Commissioner Holmes noted that the decisions for change orders has been reviewed and explained by the project manager and heavily deliberated by the Board. Commissioner Forste-Grupp added that the library renovation is on-budget and on-time.

Skatium:

S.B. Conrad (General Contractor) – Change Order

Commissioner Gondek moved to approve a change order in the amount of \$13,295.00 with S.B. Conrad, the General Contractor for the Haverford Skatium Renovation Project. Commissioner Forste-Grupp seconded the

motion. Commissioner Gondek explained the purpose of the change order pertains to one of the locker room's flooring. All Commissioners voted YES: Commissioners Gondek, Forste-Grupp, Cavender, Holmes, Quinn, Hart, McCollum, McCloskey, and Trombetta.

E. Purchases

Police Duty Weapon Holster Systems – Alien Gear Holsters (Sole Source)

Commissioner Cavender moved to award a purchase order in the amount of \$18,576.25 for seventy-five (75) duty holster systems to Alien Gear Holsters, the sole source provider of the equipment. Commissioner Quinn seconded the motion. All Commissioners voted YES: Commissioners Gondek, Forste-Grupp, Cavender, Holmes, Quinn, Hart, McCollum, McCloskey, and Trombetta.

F. Continuation of Citizens' Forum for Non-Agenda Items

Michael Lee clarified that he felt there was a procedural error with Resolution No. 2446-2025. He also asserted that there needs to be better communication with residents.

Jane Hall commented on the importance of Women's History Month and thanked Commissioners Forste-Grupp and Holmes. She shared a personal story and shared her beliefs about the Ukrainian conflict.

Melissa Raffle, 7th Ward, thanked the Board for adopting Resolution No. 2446-2025 and sharing the Women's History Month proclamation.

Todd Hall, 2nd Ward, voiced his concern for the discretion of the Board on which issues to comment on. He also shared his feelings about Women's History Month.

Major Ross Peterson, 4th Ward, read an excerpt from an article from November of 2023. He shared his belief that a democracy is mob rule and his opposition to using the word in Resolution No. 2446-2025.

Commissioner McCollum responded to Jane Hall's comment and clarified that he completely opposes the Ukrainian conflict, but he does not believe he was elected to comment on it. Commissioner Quinn echoed Commissioner McCollum's sentiments.

President Trombetta clarified that Resolution No. 2446-2025 was posted publicly on the website the Thursday prior to the meeting.

G. New Business

There was no new business.

H. Other Business

Commissioner Gondek asked everyone to be responsible when celebrating St. Patrick's Day.

Commissioner Forste-Grupp noted the respectful discussion during the meeting and appreciated the open honesty. Also, although she did not remember the meetings that some residents described, but she encouraged residents to reach out to their commissioners.

Commissioner Cavender announced the Polo Field driveway widening project. She also announced that the Environmental Advisory Committee is hosting the Hav-a-Rain Garden program again. Finally, she noted the importance of speaking up in support of Ukraine.

Commissioner Holmes reiterated the Township Manager's message about the Bus Way repair project. He also reminded residents to be careful driving as the weather improves. He shared a history lesson from World War II.

Commissioner Quinn shared that the Kevin Kane run will be held on April 6, 2025. He also reminded residents to be responsible when drinking during St. Patrick's Day celebrations.

Commissioner Hart noted the five-year mark since the beginning of the COVID-19 emergency. He also mentioned that the recent measles outbreak is a reminder to check vaccination status.

Commissioner McCollum reiterated the Township Manager's message about the upcoming shredding event and reminded residents of the e-waste recycling event on March 22, 2025.

Commissioner McCloskey noted that he looks forward to serving the new residents of the 3rd Ward, pending the new redistricting ordinance.

President Trombetta explained the purpose of a consent agenda.

I. Adjourn



January 3, 2025
File No. 85483-24

CERTIFIED MAIL

Dave Burman, Township Manager
Haverford Township
1014 Darby Rd.
Havertown, PA 19083

Re: EBuild Construction, LLC
Darby Road Subdivision (Vacant Lot Adjacent to 4008 Darby Road)
LPSS Forcemain Installation
Final Inspection Request & Final Escrow Release Request
Request for acceptance of Dedication by Haverford Township

Dear Mr. Burman:

We are writing to inform you that the work and final punch list items for the LPSS Forcemain Installation for the Darby Road Subdivision have been completed.

We would respectfully request a final inspection of improvements and Final Release of escrow in the amount of \$46,147.29 as outlined within the enclosed documents. Any Engineering or Legal Escrow amounts outstanding from the initial \$4,614.73 Engineering/Legal escrow amount is also requested to be released. It should be noted that while a recommendation for release letter was written on 1/17/2024 by the Haverford Township Engineer, the bank has confirmed that no release was ever requested, nor released, from the bank. Therefore, the full escrow amount is still in effect as noted above and requested for release at this time.

Along with the final release of escrow, we would also request that the Township accept dedication of the Low Pressure Sanitary Sewer and related appurtenances as outlined on the approved plans and as installed in the field.

Should you have any further comments or questions, please feel free to contact me.

Very Truly Yours,

Michael J. Ciocco, P.E.
For Catania Engineering Assoc., Inc.

CC: EBuild Construction, LLC
Charles Faulkner, P.E., Pennoni Assoc.
Enclosure (s)

Catania Engineering Associates, Inc., Engineers and Land Surveyors

520 W. MacDade Boulevard, Milmont Park, PA 19033-3321
Phone: 610-532-2884 - Fax: 610-532-2923 - Email: office10@cataniaengineering.com
Web: cataniaengineering.com

PUBLIC IMPROVEMENT COST ESTIMATE - SITE IMPROVEMENTS

Escrow Release Request #1

PROJECT: E2 Darby Rd LLC - 4008 Darby Road LPSS

Est. Date: 3/23/2023

Date: 10/23/2023

DEVELOPER: E2 Darby Road LLC

MUNICIPALITY: Haverford Township

Plan Rev. DATE: 3/22/2023

DESCRIPTION					QTY	UNITS	UNIT COST	TOTAL	THIS RELEASE		COMPLETED TO DATE		WORK REMAINING		
									QTY	TOTAL	QTY	TOTAL	QTY	TOTAL	PERCENT
A. Sanitary Sewer															
1.	2" LPSS Directional Drilling w fittings				707	LF	\$15.50	\$ 10,958.50	707	\$10,958.50	707	\$10,958.50	0	\$0.00	0.00%
2.	Lateral Tie ins				6	EA	\$750.00	\$ 4,500.00	6	\$4,500.00	6	\$4,500.00	0	\$0.00	0.00%
3.	Soft Dig for Utility Locations				1	LS	\$1,470.00	\$ 1,470.00	1	\$1,470.00	1	\$1,470.00	0	\$0.00	0.00%
4.	Yard Restoration				1	LS	\$1,033.58	\$ 1,033.58	1	\$1,033.58	1	\$1,033.58	0	\$0.00	0.00%
5.	Air Release Valve Manhole,Tee,Curb Stop				1	EA	\$3,600.00	\$ 3,600.00	1	\$3,600.00	1	\$3,600.00	0	\$0.00	0.00%
6.	End of main Curb Stop				1	EA	\$350.00	\$ 350.00	1	\$350.00	1	\$350.00	0	\$0.00	0.00%
7.	Tracer Station				1	EA	\$200.00	\$ 200.00	1	\$200.00	1	\$200.00	0	\$0.00	0.00%
8.	Existing Manhole Tie-In Excavation				1	LS	\$750.00	\$ 750.00	1	\$750.00	1	\$750.00	0	\$0.00	0.00%
9.	Existing Manhole Core Drilling				1	LS	\$500.00	\$ 500.00	1	\$500.00	1	\$500.00	0	\$0.00	0.00%
10.	Traffic Control				1	LS	\$8,000.00	\$ 8,000.00	1	\$8,000.00	1	\$8,000.00	0	\$0.00	0.00%
11.	Epoxy Manhole Lining				2	EA	\$2,625.00	\$ 5,250.00	2	\$5,250.00	2	\$5,250.00	0	\$0.00	0.00%
12.	Lateral connection Curb Stop Valve				3	EA	\$350.00	\$ 1,050.00	3	\$1,050.00	3	\$1,050.00	0	\$0.00	0.00%
13.	Lateral Connection Check Valve				6	EA	\$90.00	\$ 540.00	6	\$540.00	6	\$540.00	0	\$0.00	0.00%
							Subtotal	\$ 38,202.08		\$ 38,202.08		\$38,202.08		\$0.00	
B. Miscellaneous															
14.	System Testing				1	LS	\$1,250.00	\$ 1,250.00	1	\$1,250.00	1	\$1,250.00	0	\$0.00	0.00%
15.	As-Built Plans				1	LS	\$2,500.00	\$ 2,500.00	1	\$2,500.00	1	\$2,500.00	0	\$0.00	0.00%
							Subtotal	\$ 3,750.00		\$3,750.00		\$3,750.00		\$0.00	
SUBTOTAL ITEMS A. THRU B. :								\$ 41,952.08		\$ 41,952.08		\$ 41,952.08		\$0.00	0.00%
10 % MPC:								\$ 4,195.21		\$ 4,195.21		\$ 4,195.21		\$0.00	0.00%
TOTAL COST ESTIMATE:								\$ 46,147.29		\$ 46,147.29		\$ 46,147.29		\$0.00	0.00%
10% Engineering Inspection/Legal:								\$ 4,614.73		\$ 4,614.73		\$ 4,614.73		\$0.00	
LESS TOTAL OF PREVIOUS RELEASES												\$0.00			
SUB-TOTAL THIS RELEASE										\$ 46,147.29					
TOTAL ESCROW RELEASE REQUESTED										\$ 46,147.29	\$0.00 0.00%				
TOTAL ENGINEERING INSPECTION RELEASE REQUESTED										\$ 4,614.73	\$0.00 0.00%				
TOTAL SECURITY REMAINING												\$0.00 0.00%			

APPROVAL:

Developer:

Pennoni Associates

Haverford Township:

by:

by: _____

by: _____

Catania Engineering Associates, Inc., Engineers and Land Surveyors

520 W. MacDade Boulevard, Milmont Park, PA 19033-3321

Phone: 610-532-2884 - Fax: 610-532-2923 - Email: office10@cataniaengineering.com

Web: cataniaengineering.com



TOWNSHIP OF
HAVERFORD

DELAWARE COUNTY
1014 DARBY ROAD
HAVERTOWN, PA 19083-2551
(610) 446-1000

LARRY HOLMES, ESQ, PRESIDENT
JUDY TROMBETTA, VICE PRESIDENT
DAVID R. BURMAN, TWP MANAGER/SECRETARY
AIMEE CUTHBERTSON, ASS'T TWP. MANAGER
JOHN R. WALKO ESQ., SOLICITOR
PENNONI ASSOCIATES, INC. ENGINEER

WARD COMMISSIONERS
1ST WARD BRIAN D. GONDEK
2ND WARD SHERYL FORSTE-GRUPP, PH.D
3RD WARD KEVIN MCCLOSKEY, ESQ
4TH WARD JUDY TROMBETTA
5TH WARD LAURA CAVENDER
6TH WARD LARRY HOLMES, ESQ
7TH WARD CONOR QUINN
8TH WARD GERARD T. HART, MD
9TH WARD WILLIAM F. WECHSLER

Manager 610-446-1000 ext. 2208
Human Resources 610-446-1000 ext. 2233

HAVTT 30241

January 17, 2024

David R. Burman, Township Manager
Haverford Township
1014 Darby Road
Havertown, PA 19083-2251

**RE: 4008 Darby Road
Public Improvements
Ebuild Construction, LLC
Escrow Request No 1**

Dear Mr. Burman:

We are in receipt of the attached October 25, 2023 request (via email) from the Engineer for the above referenced project. The request is for the release of 100% of the escrowed monies associated with the required Low-Pressure Sanitary Sewer installation.

Based on our inspection and the subsequent December 12, 2023 inspection letter, we recommend the following release:

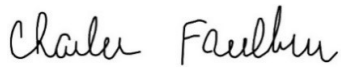
Original Escrow.....	\$ 47,687.29
Released to Date	\$ <u>0.00</u>
<i>Balance Prior to the Release.....</i>	<i>\$ 47,687.29</i>
Recommended by this Release	\$ <u>31,395.00</u>
<i>Balance After This Release.....</i>	<i>\$ 16,292.29</i>

Attached is a Declaration of Completion for your signature.

Should you have any questions or comments, please feel free to contact the undersigned.

Sincerely,

PENNONI



Charles Faulkner, PE
Senior Engineer



David Pennoni, PE
Township Engineer

C.F./c.f.

cc: Ed Gallagher, EBuild Construction, LLC (via email)
Michael J Ciocco, PE, Catania Engineering Associates, Inc. (via email)
Gary Smith, Zoning Officer, Haverford Township (via email)

DECLARATION OF COMPLETION

ESCROW RELEASE NO. 1

We the undersigned hereby declare the work relative to the Low-Pressure Sanitary Sewer System @ 4008 Darby Road has been completed to the extent of \$31,395.00 and this Declaration authorizes the reduction of the Escrow Funds by the sum of \$31,395.00.

It is hereby agreed that the release of said funds as authorized by this Declaration shall not be construed as the acceptance of work by the Township nor shall this Declaration act or constitute as any waiver by the Township of the work as completed. The Township reserves the right to inspect the said work and to require the Developer to correct any and all deficiencies.

Date: _____

David R. Burman
Township Manager

Date: 1/17/2024



David Pennoni, PE
PENNONI ASSOCIATES INC.
Township Engineer

01/17/2024

**CONSTRUCTION COST ESTIMATE
4008 DARBY ROAD LOW-PRESSURE SEWER SYSTEM
ESCROW RELEASE NO. 1**

HAVTT 30241

	<i>Items</i>	<i>Percent Completed</i>	<i>Escrowed Amount</i>	<i>Previously Released</i>	<i>Amount of This Release</i>	<i>Total Released</i>	<i>Amount to Remain</i>
A.	<u>SANITARY SEWER:</u>						
1	<u>2" LPSS Directional Drilling with Fittings</u>	69%	\$10,958.50	\$0.00	\$7,600.00	\$7,600.00	\$3,358.50
2	<u>Lateral Tie Ins</u>	100%	\$4,500.00	\$0.00	\$4,500.00	\$4,500.00	\$0.00
3	<u>Soft Dig For Utility Locations</u>	100%	\$1,470.00	\$0.00	\$1,470.00	\$1,470.00	\$0.00
4	<u>Yard Restoration</u>	48%	\$1,033.58	\$0.00	\$500.00	\$500.00	\$533.58
5	<u>Air Release Valve manhole, Tee, Curb Stop</u>	0%	\$3,600.00	\$0.00	\$0.00	\$0.00	\$3,600.00
6	<u>End of Main Curb Stop</u>	100%	\$350.00	\$0.00	\$350.00	\$350.00	\$0.00
7	<u>Tracer Station</u>	100%	\$200.00	\$0.00	\$200.00	\$200.00	\$0.00
8	<u>Existing Manhole Tie-In Excavation</u>	100%	\$750.00	\$0.00	\$750.00	\$750.00	\$0.00
9	<u>Existing Manhole Core Drilling</u>	100%	\$500.00	\$0.00	\$500.00	\$500.00	\$0.00
10	<u>Traffic Control</u>	85%	\$8,000.00	\$0.00	\$6,800.00	\$6,800.00	\$1,200.00
11	<u>Epoxy Manhole Lining</u>	100%	\$5,250.00	\$0.00	\$5,250.00	\$5,250.00	\$0.00
12	<u>Lateral Connection Curb Stop Valve</u>	100%	\$1,050.00	\$0.00	\$1,050.00	\$1,050.00	\$0.00
13	<u>Lateral Connection Check Valve</u>	0%	\$540.00	\$0.00	\$0.00	\$0.00	\$540.00
B.	<u>MISCELLANEOUS:</u>						
14	<u>System Testing</u>	50%	\$1,250.00	\$0.00	\$625.00	\$625.00	\$625.00
15	<u>As-Built Plans</u>	72%	\$2,500.00	\$0.00	\$1,800.00	\$1,800.00	\$700.00
C.	<u>ALTERNATE:</u>						
16	<u>Alternate Air Release Valve</u>	0%	\$1,400.00	\$0.00	\$0.00	\$0.00	\$1,400.00
	<i>Subtotal</i>		<i>\$43,352.08</i>	<i>\$0.00</i>	<i>\$31,395.00</i>	<i>\$31,395.00</i>	<i>\$11,957.08</i>
	10% Security per MPC and §160-7.A of the Township Code	0%	\$4,335.21	\$0.00	\$0.00	\$0.00	\$4,335.21
	Total Amount of Construction Escrow Funds Required	---	\$47,687.29				
	Amount Previously Released:	---	---	\$0.00	---	---	---
	AMOUNT TO REMAIN						\$16,292.29
	TOTAL RECOMMENDED RELEASE				\$31,395.00		



TOWNSHIP OF
HAVERFORD

DELAWARE COUNTY
1014 DARBY ROAD
HAVERTOWN, PA 19083-2551
(610) 446-1000

JUDY TROMBETTA, PRESIDENT
KEVIN MCCLOSKEY, ESQ., VICE PRESIDENT
DAVID R. BURMAN, TWP MANAGER/SECRETARY
AIMEE CUTHBERTSON, CPA, ASS'T TWP MANAGER
JOHN F. WALKO, SOLICITOR
PENNONI ASSOCIATES INC., ENGINEER

WARD COMMISSIONERS
1ST WARD BRIAN D. GONDEK, ESQ.
2ND WARD SHERYL FORSTE-GRUPP, PHD.
3RD WARD KEVIN MCCLOSKEY, ESQ.
4TH WARD JUDY TROMBETTA
5TH WARD LAURA CAVENDER
6TH WARD LARRY HOLMES, ESQ.
7TH WARD CONOR QUINN
8TH WARD GERARD T. HART, MD
9TH WARD MICHAEL MCCOLLUM

HAVTT 30241

April 1, 2025

David R. Burman, Township Manager
Haverford Township
1014 Darby Road
Havertown, PA 19083-2251

**RE: 4008 Darby Road
Public Improvements
Ebuild Construction, LLC
Escrow Request No 2 - Final**

Dear Mr. Burman:

We are in receipt of the attached Escrow request (via email) from the Engineer for the above referenced project dated January 3, 2025, received March 14, 2025. The request is for the release of all remaining escrowed monies associated with the required Low-Pressure Sanitary Sewer installation.

Based on our inspections and the subsequent December 12, 2025 letter, we recommend the following release:

Original Escrow	\$ 47,687.29
Released to Date (Escrow Release No. 1)	\$ <u>31,395.00</u>
<i>Balance Prior to the Release</i>	\$ 16,292.29
Recommended by this Release	\$ <u>16,292.29</u>
<i>Balance After This Release</i>	\$ 0.00

Attached is a Declaration of Completion for your signature.

Should you have any questions or comments, please feel free to contact the undersigned.

Sincerely,

PENNONI

Charles Faulkner, PE
Senior Engineer

David Pennoni, PE
Township Engineer

C.F./c.f.

cc: Jaime Jilozian, Director of Community Development, Haverford Township (via email)
Ed Gallagher, EBuild Construction, LLC (via email)
Michael J Ciocco, PE, Catania Engineering Associates, Inc. (via email)

A HOME RULE MUNICIPALITY

DECLARATION OF COMPLETION

ESCROW RELEASE NO. 2 (Final)

We the undersigned hereby declare the work relative to the Low-Pressure Sanitary Sewer System @ 4008 Darby Road has been completed to the extent of \$47,687.29 and this Declaration authorizes the reduction of the Escrow Funds by the sum of \$16,292.29.

It is hereby agreed that the release of said funds as authorized by this Declaration shall not be construed as the acceptance of work by the Township nor shall this Declaration act or constitute as any waiver by the Township of the work as completed. The Township reserves the right to inspect the said work and to require the Developer to correct any and all deficiencies.

Date: _____

David R. Burman
Township Manager

Date: 4/1/2025 _____



David Pennoni, PE
PENNONI ASSOCIATES INC.
Township Engineer

U:\Accounts\HAVTT\HAVTT30241 - 4008 Darby Rd Ebuild Const LLC LDE 22-04\CONSTRUCTION\PAY APPS\Final Escrow Release No 2\HAVTT 30241 - 4008 Darby Road -Escrow Release No 2 - Final.docx



TOWNSHIP OF
HAVERFORD
DELAWARE COUNTY
1014 DARBY ROAD
HAVERTOWN, PA 19083-2551
(610) 446-1000

Memorandum

To: David R. Burman, Township Manag
From: Aimee M. Cuthbertson, CPA, Asst Township Manager/Director of Finance
Subject: Agenda Item Request – MOU with Crossroads Figure Skating Club
Date: April 1, 2025

The Memorandum of Understanding (MOU) is proposed at the request for the former Crossroads Figure Skating Club (organized as a 501(c)(3) entity) to clearly state each entity's responsibility for all of its own activities upto the eventual dissolution of the former Club's 501(c)(3) entity.

Mr. Walko is working with legal counsel for the 501(c)(3) entity to develop mutually agreeable language and we have presented the latest draft form for your review. We hope to have final language ready for a Board of Commissioner vote at the April 14, 2025 meeting. However, if that language has not been finalized, we will recommend a motion to TABLE until May 12, 2025.

Memorandum of Understanding and Indemnification Agreement Between:
Crossroads Figure Skating Club
and
The Township of Haverford

This Agreement between Crossroads Figure Skating Club (the “Entity”), a Pennsylvania not for profit 501(c)(3) corporation with a mailing address of 1018 Darby Road Havertown PA 19083, and the Township of Haverford (the “Township”), a political subdivision of the County of Delaware, Commonwealth of Pennsylvania, is made this ____ day of _____, 2025 to memorialize the transfer the operations of the figure skating club to Haverford.. The Entity and the Township shall be collectively referred to herein as the “Parties”

WHEREAS, the Entity manages and runs a figure skating club (the “Club”) identified as Member Club 1107 of the United States Figure Skating Association (“USFS”) with the same name as the Entity; and

WHEREAS, the current Board of Directors of the Entity has asked the Township to assume responsibility for the future operations of the Club; and

WHEREAS, the Township intends to operate the Club as an unincorporated entity pursuant to bylaws approved by the Township, and with a Board of Directors approved by the Township, in order to provide residents of the Township with an opportunity to participate in the Club’s recreational activities; and

WHEREAS, the current Board of Directors of the Entity has considered the Township’s intent and deems it in the best interests of the members of the Club to dissolve the Entity’s 501(c)(3) status and to permit the Club to continue as an unincorporated entity operated and controlled by the Township;

NOW THEREFORE, in consideration of the mutual covenants and agreements contained herein and other good and valuable consideration, the sufficiency of which is acknowledged, the Parties agree as follows:

1. **Transfer of the Club.** Upon the above date of this Agreement, the Entity shall transfer to the Township the operation of and all rights in the Club and responsibilities of managing the Club, including, but not limited to: its member list, any other intellectual or physical property owned by the Entity for the Club, and the right to collect any outstanding member fees required to participate in Club’s activities. The Township does not and shall not assume and shall not be liable for any and all debts, taxes, liabilities, judgements, liens, fines, claims against, or obligations of the Entity or the Club of any nature whatsoever whether express or implied, fixed or contingent, known or unknown, in existence at the time of this Agreement or created by the Entity prior to dissolution.

2. **Membership in USFS.** The Township is willing to operate and manage the Club with the hope that the Club can maintain its membership in the USFS as an unincorporated entity of the Township. To the extent such ongoing membership can be determined and reasonably effectuated by the Township the Club shall remain a member organization of USFS with the Skatium remaining as the Club's home rink. After dissolution of the Entity, the Township shall inform USFS of the change and take all necessary steps to maintain such membership. The Parties understand and agree that the Township has not determined whether the USFS will permit the Club to maintain its membership as an unincorporated entity of the Township and that the Township has made no representations or guarantees that the USFS has agreed to permit the Club's membership to continue.

3. **Bank Account of the Entity.** Notwithstanding the Entity's obligation to transfer all rights in the Club, the Entity shall maintain its control of all bank accounts in the name of the Entity and/or Club until the Entity's dissolution is final. The Township waives all rights to the funds held in said bank account(s). All funds in said bank account(s) shall be used to pay any and all expenses associated with winding down of the Entity, and any funds remaining after paying such expenses shall be distributed according to the Bylaws of the Entity, the Internal Revenue Code, and its associated regulations. If approved by the Pennsylvania Office of the Attorney General, any remaining funds in the bank account shall be transferred to the Township to be used solely to advance the Club or the activities of the Club.

4. **Dissolution of the Entity.** The current Board of Directors of the Entity shall take all necessary steps to dissolve the Entity, but not the Club, and shall, in their sole discretion, distribute any remaining assets according to the Bylaws of the Entity, the Internal Revenue Code, and its associated regulations. If approved by the Pennsylvania Office of the Attorney General, the remaining assets shall be transferred to the Township to be used solely to advance the Club or the activities of the Club.

5. **Indemnification by Township.** After the completed dissolution of the Entity, the Township shall indemnify and hold harmless the Entity and the Entity's representatives from any claims, damages lawsuits, penalties, judgments, liens, costs, expenses or injuries sustained by any person or to any property in any manner arising out of the operation of the Club and from any activities conducted through the Club by the Township in the ordinary and expected course of the Club's activities. The Township acknowledges that, upon dissolution of the Entity, it shall be solely responsible for the Club, and shall be solely responsible for maintaining any insurance deemed necessary by the Township to operate the Club. This indemnification shall not serve as a waiver of any governmental immunities provided to the Township or its officials, employees, and agents.

6. **Indemnification by Entity.** The Entity shall indemnify and hold harmless the Township from any claims, damages, penalties lawsuits, judgments, liens, costs, expenses, fines, or injuries sustained by any person or to any property in any manner arising out of

the Entity, the operation of the Entity or the Club and from any activities or decisions of the Entity or Club that were made, have occurred, or were claimed prior to the Effective Date of this Agreement. Until the Entity is dissolved, the Entity shall be solely responsible for maintaining any insurance that was in effect prior to such dissolution.

7. **No Known Claims or Liabilities.** Concurrent with the execution of this Agreement, the Entity agrees and represents that there are no known or contemplated claims or liabilities existing or are expected to be brought, claimed, collected, or pursued resulting from the Entity's existence and operation and/or the Entity's control, use, operation, or maintenance of the Club.

8. **Choice of Law & Venue.** This Agreement, and any proceedings brought pursuant hereto to interpret or enforce its terms, shall be governed, conducted, and construed as to interpretation, enforcement, validity, construction, effect and in all other respects by the laws, statutes and decisions of the Commonwealth of Pennsylvania, without regard to that state's principles of conflicts of laws. Any and all disputes arising under or relating to this letter agreement shall be brought and resolved solely and exclusively in the Commonwealth of Pennsylvania, County of Delaware.

9. **Successors in Interest.** This Agreement shall be legally binding upon and shall inure to the benefit of the Parties hereto and their successors, assigns, heirs, and personal representatives of each of them.

10. **Severability.** If one or more provisions of this Agreement or any agreement, document or other instrument required to be delivered hereunder or pursuant hereto shall be determined to be illegal, invalid or unenforceable by a court of competent jurisdiction in any respect under any applicable Law, the validity, legality and enforceability of the remaining provisions hereof or thereof shall not be affected or impaired thereby.

11. **Counterparts.** This Agreement may be executed in any number of counterparts, each of which so executed shall be deemed to be an original, and such counterparts shall together constitute but one and the same Agreement. Any Party shall be entitled to sign and transmit electronic signatures to this Agreement (whether by facsimile, .pdf, or electronic mail transmission), and any such signature shall be binding on the party whose name is contained therein. Any Party providing an electronic signature to this Agreement agrees to promptly execute and deliver to the other parties, upon request, an original signed Agreement.

12. **Integration.** This Agreement contains and constitutes the entire understanding and agreement among the Parties hereto respecting the subject matter hereof and supersedes and cancels all previous negotiations, representations, agreements, commitments and writings in connection herewith.

13. **No Third-Party Beneficiaries.** No third-party beneficiaries are contemplated or intended to be created under this Agreement.

14. **Interpretation.** This Agreement and the provisions contained herein shall not be construed or interpreted for or against any Party hereto because said Party drafted or caused the Party's legal representative to draft any of the provisions. The Parties agree that this Agreement shall be construed as if all Parties jointly prepared it and any uncertainty or ambiguity shall not be interpreted against any one Party.

15. **Voluntary Agreement.** The Parties acknowledge and represent that they have received the advice of independent legal counsel of their own choosing in connection with the preparation and execution of this Agreement, that they have read and understand the terms hereof, that they have entered into and executed this Agreement freely and voluntarily, and that they are duly authorized to enter into this Agreement. The Parties represent that the individuals signing this Agreement are authorized by their respective institutions to enter and bind their respective institutions to this Agreement, and agree to be bound by each and every one of its terms.

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be duly executed under seal.

Crossroads Figure Skating Club

Township of Haverford

(SEAL)

Karen Farinella, President

By: _____

Patricia DeStefano

Rosa Romo

Kristin Caparra



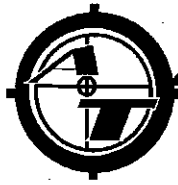
TOWNSHIP OF
HAVERFORD
DELAWARE COUNTY
1014 DARBY ROAD
HAVERTOWN, PA 19083-2551
(610) 446-1000

Memorandum

To: David R. Burman, Township Manager
From: John Viola, Chief of Police
Subject: Agenda Item Request - Purchase of Weapons & Accessories
Date: March 28, 2025

The Haverford Township Police Department seeks authorization to purchase seventy-seven (77) Sig Sauer P320 9mm patrol handguns with weapon-mounted light system. The purchase will be through Atlantic Tactical of 7970 State Road, Philadelphia, PA 19136. Atlantic Tactical was the lowest responsible bidder.

After trade-in, the net total purchase amount of \$43,197.00 will be funded from the 2025 Capital Fund Budget adopted on December 9, 2024.



ATLANTIC TACTICAL™

OUTFITTING AMERICA'S HEROES

7970 State Road, Philadelphia, PA 19136
215-632-0341 • FAX 215-632-0639

REMIT TO: 3319 Anvil Place, Raleigh, NC 27603

SALES QUOTE

SQ-80814917

2/20/2025

Customer		Contact	Ship To			
HAVERFORD TOWNSHIP PD JOHN VIOLA 1010 DARBY RD HAVERTOWN PA 19083 Tel: (610)-853-9211 Fax: (610)-853-1706			HAVERFORD TOWNSHIP PD 1010 Darby Rd HAVERTOWN PA 19083			
Account	Terms	Due Date	Account Rep	Schedule Date		
HAV1000	NET 30	3/22/2025	Derrick Watford	2/20/2025		
Quotation	PO #	Reference	Ship VIA	Page	Printed	
SQ-80814917	2025 BID QUOTE	025 BID QUOTE	FDX G Ground	1	2/27/2025 7:39:36AM	
L Item	Description	Qty	Price	UM	Discount	Amount
1	2025 BID QUOTE - SIG SAUER & TRADES					
2						
3	SIGW320F9BX-014 Sig Sauer W320F-9-BXR3-PRO-RXX P320, 9MM, 4.7IN, PRO, BLK, STRIKER, X-RAY 3, MOD POLY X GRIP, (3) 17RD STEEL MAG, ROMEO-X, RAIL	77	\$739.8	EA		\$56,964.60
4	SIGSOF2R100 SIG SAUER FOXTROT2R, RECHARGEABLE, WEAPON MOUNTED WHITE LIGHT, 700 LUMENS, BLACK	77	\$116.20	EA		\$8,947.40
5						
6	SH SHIPPING/HANDLING	1	\$0.00	EA		\$0.00
7						
8	TRADE-IN Trade- In Sig Sauer P320 L320F-40-BSS, .40, 4.7", 6 YO, Night Sights, Box, (3) Magazines, Very Good Condition	77	\$-295.00	EA		\$-22,715.00
9						
Pricing is valid for 30 days. * Please verify that the part numbers and descriptions are correct before submitting your order. * Restocking fees may apply to returned items. Firearms, ammunition, special order or customized items and certain other products may not be returned. * Many products sold have manufacturer's warranties. For returns related to matters covered by a manufacturer's warranty, please contact the manufacturer directly for instructions to repair or replace your product. We do not augment or supplement the manufacturer warranty. * Prices on this quotation assume payment with cash or check.			Tax Details EXEMPT \$0.000		Taxable Total Tax Exempt Total Balance	 \$0.00 \$0.00 \$43,197.00 \$43,197.00 \$43,197.00



TOWNSHIP OF
HAVERFORD
DELAWARE COUNTY
1014 DARBY ROAD
HAVERTOWN, PA 19083-2551
(610) 446-1000

Memorandum

To: David R. Burman, Township Manager
From: John Viola, Chief of Police
Subject: Agenda Item Request - Purchase of Scott Air Packs
Date: March 28, 2025

The Haverford Township Police Department seeks authorization to purchase six (6) Scott Air Packs. The purchase will be through Municipal Emergency Services at 7150 Airport Highway, Pennsauken Township New Jersey, 08109 under COSTARS Contract #012-E23-337.

The total purchase amount of \$58,729.88 will be funded from the 2025 Capital Fund Budget adopted on December 9, 2024.



TOWNSHIP OF
HAVERFORD
DELAWARE COUNTY
1014 DARBY ROAD
HAVERTOWN, PA 19083-2551
(610) 446-1000

Memorandum

To: David R. Burman, Township Manager
From: Dan Mariani, Director of Public Works
Subject: Agenda Item Request – Amendment to Public Works Purchase
Date: March 27, 2025

The Haverford Township Public Works Department seeks an amendment to the purchase of trucks and equipment approved during the Board of Commissioners Meeting in February 2025. One (1) of the 2025 Ford Super Duty F-350 trucks originally planned for the Highways Department has been changed to a Chevy Silverado EV Work Pickup Truck. The 2025 Tink Claw Leaf Attachment for CAT938 Loader remains unchanged and has already been purchased.

Two (2) 2025 Ford Super Duty F-350 SRW (X3B) XL 4WD SuperCab 8' Box with 9 FT Plow Package, one for the Highways Department and one for the Sewer Department, for \$64,262.00 each.

One (1) 2025 Chevy Silverado EV Work Pickup Truck for the Highways Department for \$70,485.00.

All three (3) trucks will be purchased from Hondru Ford at 350 S. Main Street, Manheim, PA 17545 under COSTARS Contract #025-E22-387.

The total purchase amount of \$199,009 for the trucks and equipment will be funded from the 2025 General Fund Operating Budget adopted on December 9, 2024.



Hondru Fleet

Chris Titter | 717-664-7243 | ctitter@hondruauto.com

Sewer

Vehicle: [Fleet] 2025 Ford Super Duty F-350 SRW (X3B) XL 4WD SuperCab 8' Box (✓ Complete)

Quote: Haverford Township 2025 F350

Quote Worksheet

	MSRP
Base Price	\$51,925.00
Dest Charge	\$1,995.00
Total Options	\$5,565.00
Subtotal	\$59,485.00
COSTARS Discount	(\$3,008.00)
Western Plow Installed	\$7,785.00
Subtotal Pre-Tax Adjustments	\$4,777.00
Less Customer Discount	\$0.00
Subtotal Discount	\$0.00
Trade-In	\$0.00
Subtotal Trade-In	\$0.00
Taxable Price	\$64,262.00
Sales Tax	\$0.00
Subtotal Taxes	\$0.00
Subtotal Post-Tax Adjustments	\$0.00
Total Sales Price	\$64,262.00

This document contains information considered Confidential between GM and its Clients uniquely. The information provided is not intended for public disclosure. Prices, specifications, and availability are subject to change without notice, and do not include certain fees, taxes and charges that may be required by law or vary by manufacturer or region. Performance figures are guidelines only, and actual performance may vary. Photos may not represent actual vehicles or exact configurations. Content based on report preparer's input is subject to the accuracy of the input provided.

Data Version: 24511. Data Updated: Jan 20, 2025 6:43:00 PM PST.



Township Of Haverford

Purchase Order

Township of Haverford 1014 Darby Rd. Havertown Pa. 19083 610-446-1000		DATE: MARCH 24, 2025 P.O. # PW002003	
VENDOR	Hondru Ford 350 s Main St Manheim PA 17545	SHIP TO	1 Hilltop RD Havertown, PA 19083
SHIPPING METHOD		SHIPPING TERMS	
n/a		n/a	
DELIVERY DATE			

QTY	ITEM OR INVOICE #	DESCRIPTION	JOB	UNIT PRICE	LINE TOTAL
1		Sewer Dept 1 Ford F350 Pickup Truck With 9ft Western plow package		64,262.00	64,262.00
		Freight			
				SUBTOTAL	64,262.00
				TOTAL	64,262.00

Approved By:



Hondru Fleet

Chris Titter | 717-664-7243 | ctitter@hondruauto.com

D1

Vehicle: [Fleet] 2024 Chevrolet Silverado EV (CT35843) e4WD Crew Cab Work Truck w/4WT (Complete)

Quote Worksheet

	MSRP
Base Price	\$77,905.00
Dest Charge	\$1,995.00
Total Options	\$585.00
	Subtotal
	\$80,485.00
COSTARS Discount	(\$10,000.00)
	Subtotal Pre-Tax Adjustments
	(\$10,000.00)
Less Customer Discount	\$0.00
	Subtotal Discount
	\$0.00
Trade-In	\$0.00
	Subtotal Trade-In
	\$0.00
	Taxable Price
	\$70,485.00
Sales Tax	\$0.00
	Subtotal Taxes
	\$0.00
	Subtotal Post-Tax Adjustments
	\$0.00
	Total Sales Price
	\$70,485.00

This document contains information considered Confidential between GM and its Clients uniquely. The information provided is not intended for public disclosure. Prices, specifications, and availability are subject to change without notice, and do not include certain fees, taxes and charges that may be required by law or vary by manufacturer or region. Performance figures are guidelines only, and actual performance may vary. Photos may not represent actual vehicles or exact configurations. Content based on report preparer's input is subject to the accuracy of the input provided.
Data Version: 25032. Data Updated: Mar 23, 2025 6:53:00 PM PDT.



Township Of Haverford

Purchase Order

Township of Haverford 1014 Darby Rd. Havertown Pa. 19083 610-446-1000		DATE: MARCH 24, 2025 P.O. # PW002005	
VENDOR	Hondru Ford 350 s Main St Manheim PA 17545	SHIP TO	1 Hilltop RD Havertown, PA 19083
SHIPPING METHOD		SHIPPING TERMS	DELIVERY DATE
n/a		n/a	

QTY	ITEM OR INVOICE #	DESCRIPTION	JOB	UNIT PRICE	LINE TOTAL
1		Highway Dept, 1 Chevrolet Silverado EV Pickup Truck		70,485.00	70,485.00
		Freight			
				SUBTOTAL	70,485.00
				TOTAL	70,485.00

Approved By:



Hondru Fleet

Chris Titter | 717-664-7243 | ctitter@hondruauto.com

Highway

Vehicle: [Fleet] 2025 Ford Super Duty F-350 SRW (X3B) XL 4WD SuperCab 8' Box (✓ Complete)

Quote: Haverford Township 2025 F350

Quote Worksheet

	MSRP
Base Price	\$51,925.00
Dest Charge	\$1,995.00
Total Options	\$5,565.00
Subtotal	\$59,485.00
COSTARS Discount	(\$3,008.00)
Western Plow Installed	\$7,785.00
Subtotal Pre-Tax Adjustments	\$4,777.00
Less Customer Discount	\$0.00
Subtotal Discount	\$0.00
Trade-In	\$0.00
Subtotal Trade-In	\$0.00
Taxable Price	\$64,262.00
Sales Tax	\$0.00
Subtotal Taxes	\$0.00
Subtotal Post-Tax Adjustments	\$0.00
Total Sales Price	\$64,262.00

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Data Version: 24511. Data Updated: Jan 20, 2025 6:43:00 PM PST.



Township Of Haverford

Purchase Order

Township of Haverford 1014 Darby Rd. Havertown Pa. 19083 610-446-1000		DATE: MARCH 24, 2025 P.O. # PW002004	
VENDOR	Hondru Ford 350 s Main St Manheim PA 17545	SHIP TO	1 Hilltop RD Havertown, PA 19083
SHIPPING METHOD		SHIPPING TERMS	DELIVERY DATE
n/a		n/a	n/a

QTY	ITEM OR INVOICE #	DESCRIPTION	JOB	UNIT PRICE	LINE TOTAL
1		Highway Dept, 1 Ford F350 Pickup Truck With 9ft Western plow package		64,262.00	64,262.00
		Freight			
SUBTOTAL					64,262.00
TOTAL					64,262.00

Approved By:



TOWNSHIP OF
HAVERFORD
DELAWARE COUNTY
1014 DARBY ROAD
HAVERTOWN, PA 19083-2551
(610) 446-1000

Memorandum

To: David R. Burman, Township Manager
From: Dan Mariani, Director of Public Works
Subject: Agenda Item Request - Purchase of Public Works Department Truck
Date: March 28, 2025

The Haverford Township Public Works Department seeks authorization to purchase one (1) sanitation truck and (1) mounted piece of equipment for the sanitation truck.

One (1) 2025 Leach 21 yd 2R – III Recycling Body Sanitation Truck

The purchase totaling \$116,964.00 will be for the Public Works Sanitation Department, purchased through GranTurk Equipment Co., Inc. 1 Schuylkill Parkway Building B Bridgeport, PA 19405 under COSTARS Contract #025-E22-471.

One (1) 2025 Mounted on Chassis for Sanitation Truck

The purchase totaling \$128,164.40 will be for the Public Works Sanitation Department, purchased through Ascendance Trucks Pennsylvania, LLC 2811 Charter Road Philadelphia, PA 19154 under COSTARS Contract #025-E23-577.

The total purchase amount of \$245,128.40 for the trucks and equipment will be funded from the 2025 General Fund Operating Budget adopted on December 9, 2024.



TOWNSHIP OF
HAVERFORD
DELAWARE COUNTY
1014 DARBY ROAD
HAVERTOWN, PA 19083-2551
(610) 446-1000

Memorandum

To: David R. Burman, Township Manager
From: John Viola, Chief of Police
Subject: Agenda Item Request - Purchase of Automatic License Plate Readers
Date: March 20, 2025

The Haverford Township Police Department seeks authorization to purchase five (5) Automatic License Plate Readers. The purchase will be through Plate Logiq, 600 Eagleview Blvd, Suite 300, Exton, PA 19341 under COSTARS Contract #033-L22-045.

The total purchase amount (including five years of subscription monitoring) is \$28,980.00 per year for five years and will be funded from the Capital Fund Budget.



Solve more crimes, faster.

Increase traffic enforcement and compliance while building a powerful, cost-effective intelligence database.



Haverford Township Police Department

1010 Darby Road, Haverford, PA 19083

February 28, 2025

Presented By:

Sean Petty, PLATELOGIQ
600 Eagleview Blvd, Suite 300, Exton, PA 19341
sean@platelogiq.com
610.463.0100



Contract 033-E22-045

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1.0 Solving Crime, Enhancing Enforcement

This PLATELOGIQ solution will provide advanced capabilities to the Haverford Township Police Department that will both aid in solving crimes and increase the level and degree of traffic enforcement and compliance in the Township. A few of the key benefits include:



Access to a regional database of more than 4 BILLION reads per year.



24 hour per day, 365 day per year record of vehicle license plates through the identified intersection.



Regional and national data interfaces to improve crime solving through intelligence sharing.



Make, Model, Color analysis (daytime) for rapid identification and searching of vehicles – dramatically lowering time spent by officers and detectives investigating crimes.



Increased traffic enforcement through the use of the in-car web application to monitor traffic for PennDOT violations.



Fully managed hotlists including: NCIC (FBI), PennDOT Suspended, PennDOT Expired, PA and NJ Megan's Law Offenders.



Increased apprehension of wanted persons through real-time text, e-mail, and web alerts from *any* site in the PLATELOGIQ network.

2.0 Scope of Work

PLATELOGIQ (PL) will provide Haverford Township with a comprehensive suite of hardware and software to monitor vehicle traffic on the roadways at the intersections described in this section. Our solution will include high definition advanced license plate recognition (LPR) cameras and state of the art machine-learning analysis software.

PL will provide and install the following items:

- ⦿ License Plate Recognition processors at each intersection
- ⦿ License Plate Recognition cameras, quantities identified per intersection
- ⦿ LPR service licenses
- ⦿ LPR maintenance
- ⦿ Cabling and brackets

PLATELOGIQ will work with a third-party installer to install the cameras and cabling on the traffic signal mast arms. PLATELOGIQ will be responsible for the installation of all LPR equipment and networking.

3.0 VIPR Service Subscription Model

The VIPR Service is provided exclusively as a subscription-based offering, with an annual payment required to maintain access. This subscription model ensures that users receive a comprehensive package that includes ongoing maintenance, software updates, cloud storage, and support services throughout the subscription term. Unlike a perpetual license or a one-time purchase, the VIPR Service is designed to deliver continuous value and evolve with user needs, supported by regular enhancements and improvements.

It is important to note that the service will cease to function if the annual payment is not made, as access is contingent on an active subscription. This approach ensures that users always benefit from the latest features, security updates, and a fully managed service experience without the need for separate or incremental costs beyond the subscription fee.

Installation Options

Location 1 – West Chester Pike and Eagle Road – LPR

PLATELOGIQ will provide and install advanced license plate recognition cameras each of the mast arms as shown in Figure 1.

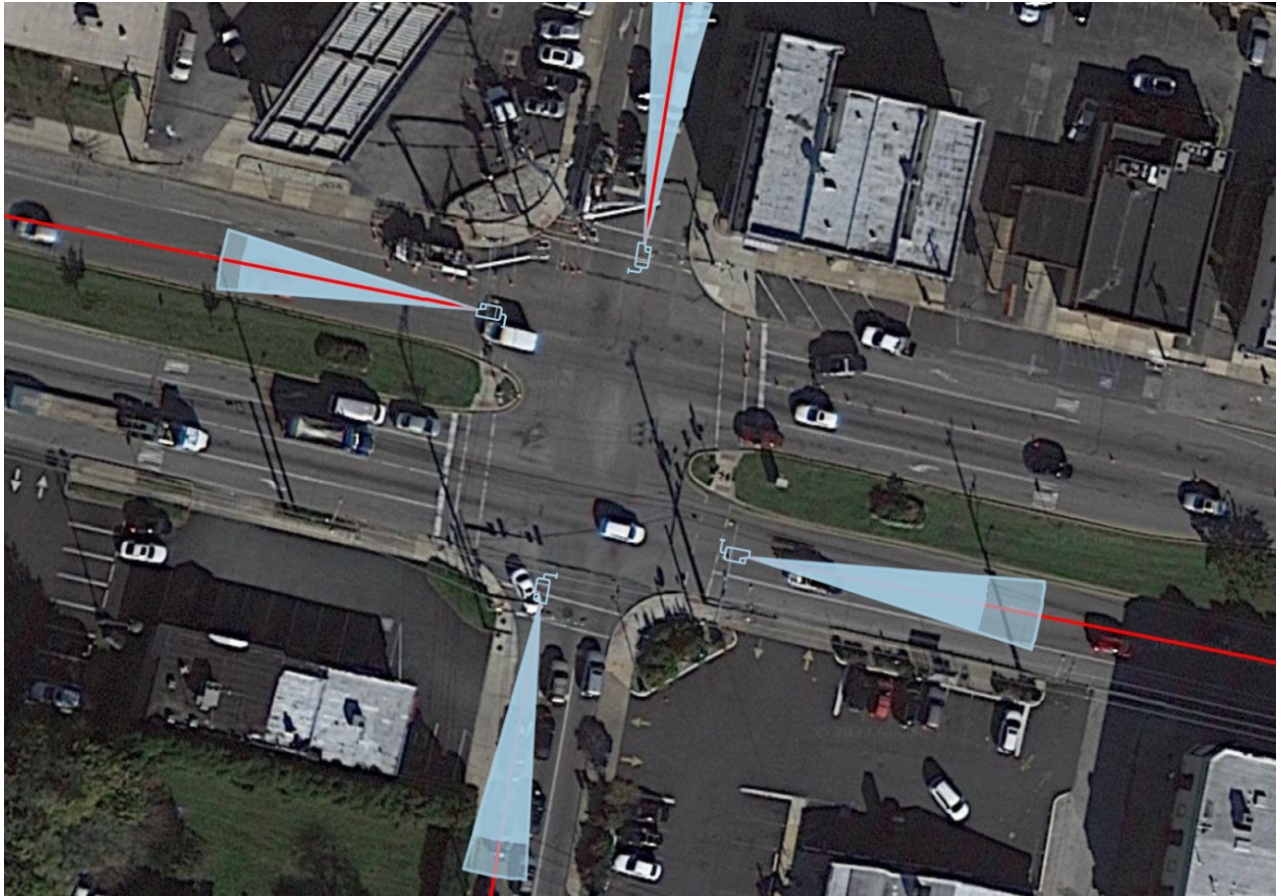


Figure 1 – West Chester Pk. / Eagle Rd. – LPR Overview

Each camera will provide coverage for both lanes of traffic, both day and night. Each installation will include integrated high-power infrared illumination for accurate captures during low light, high speed conditions.

PLATELOGIQ will install and configure a license plate recognition processor in the traffic signal cabinet. This processor will service both LPR cameras and submit information to PLATELOGIQ's cloud-based service. The Township will be responsible for providing Verizon cellular data service or another broadband Internet service to the processor.

Location 2 – West Eagle Road and West Darby Road – LPR

PLATELOGIQ will provide and install advanced license plate recognition cameras each of the mast arms as shown in Figure 2.



Figure 2 – W. Eagle Rd. / W. Darby Rd. – LPR Overview

Each camera will provide coverage for both lanes of traffic, both day and night. Each installation will include integrated high-power infrared illumination for accurate captures during low light, high speed conditions.

PLATELOGIQ will install and configure a license plate recognition processor in the traffic signal cabinet. This processor will service both LPR cameras and submit information to PLATELOGIQ's cloud-based service. The Township will be responsible for providing Verizon cellular data service or another broadband Internet service to the processor.

Location 3 – East Eagle Road and East Darby Road – LPR

PLATELOGIQ will provide and install advanced license plate recognition cameras each of the mast arms as shown in Figure 3.



Figure 3 – East Eagle Rd. / East Darby Rd. – LPR Overview

Each camera will provide coverage for both lanes of traffic, both day and night. Each installation will include integrated high-power infrared illumination for accurate captures during low light, high speed conditions.

PLATELOGIQ will install and configure a license plate recognition processor in the traffic signal cabinet. This processor will service both LPR cameras and submit information to PLATELOGIQ's cloud-based service. The Township will be responsible for providing Verizon cellular data service or another broadband Internet service to the processor.

Location 4 – Haverford Road and Wynnewood Road – LPR

PLATELOGIQ will provide and install advanced license plate recognition cameras each of the mast arms as shown in Figure 4.



Figure 4 – Haverford Rd. / Wynnewood Rd. – LPR Overview

Each camera will provide coverage for both lanes of traffic, both day and night. Each installation will include integrated high-power infrared illumination for accurate captures during low light, high speed conditions.

PLATELOGIQ will install and configure a license plate recognition processor in the traffic signal cabinet. This processor will service both LPR cameras and submit information to PLATELOGIQ's cloud-based service. The Township will be responsible for providing Verizon cellular data service or another broadband Internet service to the processor.

Location 5 – Darby Road and Manoa Road – LPR

PLATELOGIQ will provide and install advanced license plate recognition cameras each of the mast arms as shown in Figure 5.



Figure 5 – Darby Road and Manoa Road – LPR Overview

Each camera will provide coverage for both lanes of traffic, both day and night. Each installation will include integrated high-power infrared illumination for accurate captures during low light, high speed conditions.

PLATELOGIQ will install and configure a license plate recognition processor in the traffic signal cabinet. This processor will service both LPR cameras and submit information to PLATELOGIQ's cloud-based service. The Township will be responsible for providing Verizon cellular data service or another broadband Internet service to the processor.

4.0 Schedule

Task	Duration	Estimated Schedule
Installation of LPR Cameras	5 days	June, 2025
Networking Integration and testing	1 day	June, 2025

5.0 PLATELOGIQ Will Provide

PLATELOGIQ will provide the following equipment as part of this effort:

- ◉ License Plate Recognition processors
- ◉ License Plate Recognition cameras
- ◉ All required power and ethernet cabling

6.0 Client Will Provide

- ◉ Available 120V AC power for LPR processor in traffic control cabinet
- ◉ Verizon/AT&T Cellular Data Service (SIM card provided by PLATELOGIQ)

7.0 Cost Proposal – LPR (Valid until September 30, 2025)

2025 COSTARS Contract 033- E22-045 Pricing	West Chester Pike & Eagle Road	West Eagle Road & West Darby Road	East Eagle Road & East Darby Road
System Cost (5 Year Term)	\$6,440 per year 5 Year Term	\$4,830 per year 5 Year Term	\$4,830 per year 5 Year Term
Annual Cloud Service	Included during the contract term	Included during the contract term	Included during the contract term
Payment Terms	Annual Payment, 5 Years	Annual Payment, 5 Years	Annual Payment, 5 Years
Installation	Included	Included	Included

Haverford Road & Wynnewood Road	Darby Road & Manoa Road
\$6,440 per year 5 Year Term	\$6,440 per year 5 Year Term
Included during the contract term	Included during the contract term
Annual Payment, 5 Years	Annual Payment, 5 Years
Included	Included

8.0 Subscription Renewal Terms

The VIPR Service operates on an annual subscription basis, with payment required each year to maintain uninterrupted access to the service. Before the end of the current contract term, we will provide the updated annual pricing for the upcoming term. This pricing can be locked in for an additional year or a longer renewal period, ensuring continued access to all features, updates, and services.

9.0 Next Steps

		PLATELOGIQ	Haverford Township
1	Agency issues purchase order		
2	Agency Agreement is executed	PLATELOGIQ will provide the agency with an Agency Agreement that details the terms, conditions, roles and responsibilities.	The Agency will counter-sign the agreement and return it to PLATELOGIQ.
3	Site Survey	PLATELOGIQ will conduct a site survey of the installation location to determine if any special circumstances exist.	
4	Approvals	PLATELOGIQ will assist the agency with applying for and securing any approvals or permits, if required. (PennDOT/local approvals).	
5	Cable & Testing	PLATELOGIQ will install and test network cables and the LPR processor to ensure a seamless installation.	
6	4G/Network Connectivity		Agency provides network connectivity for LPR processor via Verizon/AT&T SIM card or other arrangement.
7	Installation	PLATELOGIQ will schedule the PennDOT-approved contractor to install and aim the cameras.	
8	Final Testing & Go-Live	PLATELOGIQ will verify the proper operation of the entire system and certify it to Go-Live.	
9	Training	Once the complete system is live PLATELOGIQ will schedule and conduct user training.	
10	Support	Following Go-Live PLATELOGIQ will provide Next Business Day support to the agency for the duration of the contracted maintenance period.	



TOWNSHIP OF
HAVERFORD
DELAWARE COUNTY
1014 DARBY ROAD
HAVERTOWN, PA 19083-2551
(610) 446-1000

Memorandum

To: David R. Burman, Township Manager
From: Brian Barrett, Director of Parks & Recreation
Subject: Agenda Item Request – CREC Gym Floor Resurfacing & Lobby LED Lights
Date: April 1, 2025

The Haverford Township Parks & Recreation Department seeks authorization to award a contract for refinishing the CREC gym floors and repainting the lines. The award amount of \$26,230 will go to Miller Sports Construction under COSTARS Contract #008-E22-184.

The Haverford Township Parks & Recreation Department also seeks authorization to award a contract for the replacement of lighting fixtures in the CREC lobby with LEDs. The award amount of \$12,320 will go to Denney Electric Supply under COSTARS Contract #030-013.

The total purchase amount of \$38,550.00 will be funded from the 2025 Capital Fund Budget adopted on December 9, 2024.



BUDGET PROPOSAL
SPORTS CONSTRUCTION DIVISION
Athletic Surfaces & Equipment

TO: **Larry Woods, Haverford Township**

FROM: **Bill Miller**

JOB: **Haverford CREC GYM Renovations**

DATE: **September 11, 2024**

Larry, the following budget proposal has been prepared for Haverford Rec Center Gym flooring. This pricing is valid through the summer of 2025. Miller Sports Construction (MSC/Miller) proposes to supply all materials, labor, and equipment necessary to complete the work as further specified:

SCOPE OF WORK: GYMNASIUM ROOM L100 FLOORING INSTALLATION

1. Mondo Advance 8MM overlay over the existing floor (~12,042 SF)

- Supply and Install Mondo Advance 8MM rolls over the existing floor
- Standard two (2) color installation, main court single color/perimeter, lanes, center court alt color
- Mondo PU105 adhesive rated to 85% relative humidity
- Vinyl wall base
- Vinyl transitions
- Paint lines 2 Black BB, 4 side Practice BB, 2 Navy VB, 6 Yellow PB, no Logos or lettering included
- Replace **Two** existing VB Plates only. Additional plates and sleeves available at additional cost

SCOPE OF WORK: GYMNASIUM ROOM L100 FLOOR REFINISHING

2. GYMNASIUM ROOM L100 REFINISHING (~12,042 SF)

- Deep clean gymnasium flooring
- Remove 6 taped PB courts
- Paint lines 2 Black BB, 4 side Practice BB, 2 Navy VB, 6 Yellow PB, no Logos or lettering included

1	<u>SCOPE OF WORK: GYMNASIUM ROOM L100 FLOORING INSTALLATION</u>	\$225,890.00
2	<u>SCOPE OF WORK: GYMNASIUM ROOM L100 FLOOR REFINISHING</u>	\$26,230.00

CLARIFICATIONS TO SCOPE:

- Work to be done during normal operations MFC will need to be given access to multiple areas to be worked on coordinate with building management.
- Miller will not maintain humidity and heat within the building. Permanent heat, light and ventilation shall be installed and operating before, during and after the installation.
- Environmental Requirements: Owner, GC, Construction Manager to Comply with Manufactures guidelines.

EXCLUSIONS TO SCOPE:

- **Prep Work Exclusions:**
 - Hazardous waste work or work with asbestos (if applicable)
 - Removal of existing surfaces
 - Environmental control of building
 - Door cutting (if needed)
- **Vapor Barrier Exclusions:**
 - Moisture barrier/mitigation coating.



Corporate Office
827 Lincoln Avenue Suite 15
West Chester, PA 19380
Tel: 610.626.1000 Fax: 610.626.3000

Virginia Office
5715 South Laburnum Avenue
Richmond, VA 23231
Tel: 804.405.4884 Fax: 610.626.3000

800.821.8611

A Division of  **Miller**
Flooring Company

www.millerflooring.com



BUDGET PROPOSAL
SPORTS CONSTRUCTION DIVISION
Athletic Surfaces & Equipment

• **General Scope Exclusions:**

- Alternates.
- Unit Prices.
- ALL Logos, letters, graphics, lane lines for track.
- Supplying or Installing Floor Cover Plates, Expansion Joint Covers and Electrical / Data Cove Plates are not included in our price.
- Moving of existing equipment and/or existing debris.
- Multiple delivery and/or mobilization of project materials.
- Exterior Door Thresholds
- Generators (must be provided by others if there is not sufficient power)
- Dumpsters (by GC or owner)
- Finished floor protection (To be provided by other)
- Bonds, permits, permit fees.
- Union labor/prevaling wage rates
- Overtime / weekend work, shift work, night work, holiday work.
- Apprenticeship programs.
- MBE Participation

TERMS & CONDITIONS: In accepting this proposal, the Customer/Owner agrees and accepts the following:

- Customer/Owner responsible for:
 - Removal of all equipment prior to Miller arrival
 - Proper lighting, electric supply, as applicable to the scope of work. Dependent upon scope, electric supply may require 3-phase 208 100-amp breaker to supply/run the equipment essential to the project (Add: current market value) if generator rental is needed).
 - Project site ventilation
 - Access to and use of project site restrooms
 - Security of the project site/space during work period, including appropriate signage, as applicable
 - 24/7 access to project site, as needed.
 - Permits, as applicable.
 - Sales and use taxes are included in this proposal.
- Payment Terms:
 - 50% due at contract; balance at invoice (net 30)
 - Progressive billing projects will be invoiced based on progress monthly (net 30).
 - Installation/labor services to be billed monthly based on scope completion. Net 30.
 - 1.5% per month late fee for any unpaid balance
 - No retainage to be held.
 - Applicable service charges will be added for credit card payment(s)
- Quote is based on 2024/2025 installation and includes all Contractor and Manufacturer Qualifications.
- Price **does not include** survey, site preparation, restoration, Union Labor.
- This proposal is valid for 45 days.

SELECTION:

- ☐ SCOPE OF WORK: GYMNASIUM ROOM L100 FLOORING INSTALLATION [\$225,890.00]
- ☒ SCOPE OF WORK: GYMNASIUM ROOM L100 FLOOR REFINISHING [\$26,230.00]



Corporate Office
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West Chester, PA 19380
Tel: 610.626.1000 Fax: 610.626.3000

Virginia Office
5715 South Laburnum Avenue
Richmond, VA 23231
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800.821.8611

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Flooring Company

www.millerflooring.com



BUDGET PROPOSAL
SPORTS CONSTRUCTION DIVISION
Athletic Surfaces & Equipment

ACCEPTED

The above pricing, specifications and conditions are satisfactory and are hereby accepted:

Haverford CREC

Signature: _____

Title: _____

Date: _____

CONFIRMED

Miller Sports Construction

Signature: _____

Title: _____

Date: _____

To process this proposal/order please sign and email to carol@millersports.com. Please follow with a purchase order, as applicable.

Thank you for your consideration. *Bill Miller*

PROJECT/JOB: Haverford CREC – 9000 Parkview Drive, Haverford, PA 19041

Scope: Gym Renovations

Contact: Larry Woods | 484.380.2730 | lwoods@havtwp.org

Miller Contact: Bill Miller | 610.656.5173 | bill@millersports.com



800.821.8611

Corporate Office
827 Lincoln Avenue Suite 15
West Chester, PA 19380
Tel: 610.626.1000 Fax: 610.626.3000

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5715 South Laburnum Avenue
Richmond, VA 23231
Tel: 804.405.4884 Fax: 610.626.3000

www.millerflooring.com

DENNEY ELECTRIC SUPPLY

DENNEY ELECTRIC SUPPLY
of Kennett Square, Inc
510 West State Street
Kennett Square, PA 19348
Phone 610-444-2170
Fax 610-444-2173

QUOTE TO:

HAVERFORD TWP REC CENTER
9000 PARKVIEW DR
HAVERFORD, PA 19041

**Quotation**

EXPIRATION DATE	QUOTE NUMBER
02/05/2025	S102353865
DENNEY ELECTRIC SUPPLY of Kennett Square, Inc 510 West State Street Kennett Square, PA 19348 Phone 610-444-2170 Fax 610-444-2173	
PAGE NO. 1 of 1	

SHIP TO:

HAVERFORD TWP REC CENTER
9000 PARKVIEW DR
HAVERFORD, PA 19041

CUSTOMER NUMBER	CUSTOMER PO NUMBER	JOB NAME / RELEASE NUMBER	SALESPERSON	
66465	LOBBY		AMBLER HOUSE ACCT	
WRITER	SHIP VIA	TERMS	SHIP DATE	FREIGHT ALLOWED
DANIEL SCHLEGEL		Net Due 25th	01/06/2025	No
ORDER QTY	DESCRIPTION		UNIT PRICE	EXT PRICE
22ea	PACEHPAL-500-812-DT-35W-K3-UNV-DD-T AL-ACWXXPCR SPECIAL ORDER		560.000/e	12320.00

Quotation Terms:

All pipe and wire quotes valid only until the end of quoted business day.

All non-stock quotes valid for 7 days. Excluding pipe or wire.

All stock quotes valid for 14 days. Excluding pipe or wire.

Subtotal	12320.00
S&H Charges	0.00
Amount Due	12320.00

NIMBUS

HPAL - Pendant



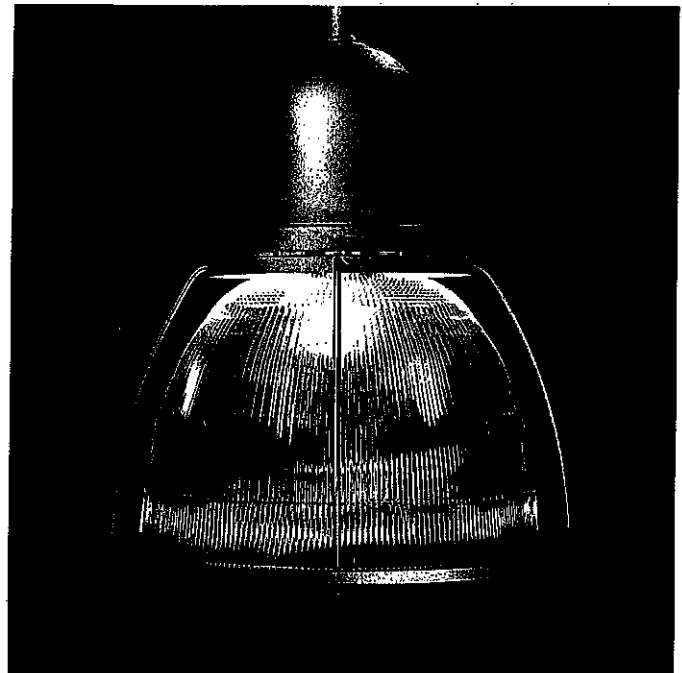
PROJECT

DATE

COMMENTS

STANDARD FEATURES

- Heavy Gauge Spun Aluminum Housing
- UV Stabilized Acrylic Reflector
- All Hardware Stainless Steel
- Dimming Driver



SERIES	MODEL	SIZE	STYLE	LAMP LED	LUMENS	CCT CRI 80	VOLT	CONTROL	COLOR	MOUNTING	OPTIONS
HPAL	500	812	DT = Dome Top	35W	4600	K27 = 2700K	120/277 UNV	DD = 0-10V Dimming Driver	TAL = Textured Aluminum TBK = Textured Black TBZ = Textured Bronze TWH = Textured White CC = Custom Color RAL = RAL Color	ACBXX = Aircraft Cable Black Cord & Canopy, Specify Length ACWXX = Aircraft Cable White Cord And Canopy, Specify Length SMXX = Stem & Canopy, Specify Length BHCP = Hook Hanger	CFL = Clear Flat Lens PCR = Polycarbonate Reflector SC30 = 30" Hang Straight MS = Motion Sensor
		818	RT = Round Top	50W	5800	K3 = 3000K					
		822		70W	15000	K35 = 3500K					
				81W	22500	K4 = 4000K					
				100W	30000	K5 = 5000K					
				120W	35000						
				150W	39000						
				180W	52000						
				200W	55000						
ORDERING INFORMATION											
SERIES	MODEL	SIZE	STYLE	LAMP LED	LUMENS	CCT CRI 80	VOLT	CONTROL	COLOR	MOUNTING	OPTIONS

ORDERING EXAMPLE: HPAL - 500 - 822 - DT - 100W - 15000 - K4 - 120/277 - DD - TAL - SM24" - PCR

Consult factory for voltage and other lamp options. Product specifications subject to change without notice.

1. Programmable drivers at the PACE factory
2. Color tunable
3. Capable of remote dimming
4. Can be equipped with motion sensors for on/off functioning
5. Can be equipped with light sensors for dusk-to-dawn automatic on/off operation
6. Bluetooth commissioning sensor capability for Android and IOS



PACE Illumination 5500 West 111th Street | Oak Lawn, Illinois 60453 | 708-499-1700 | quotes@paceillumination.com

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In the interest of product improvement, Pace reserves the right to make technical and product specification changes without notice. Consult factory for voltage and other lamp options.

REV DATE:
10192023

NIMBUS

HPAL - Pendant



MOUNTING

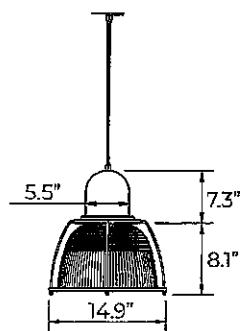
- Air craft cable and stem standard

COLOR

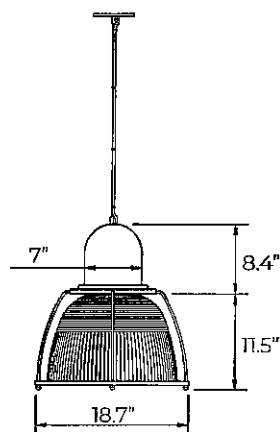
- Textured or smooth polyester powder coat finishes
- RAL colors available

DIMENSIONS

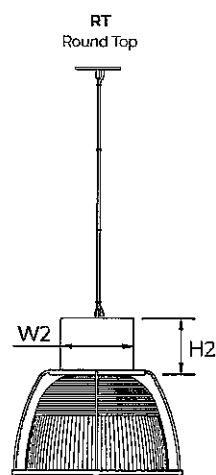
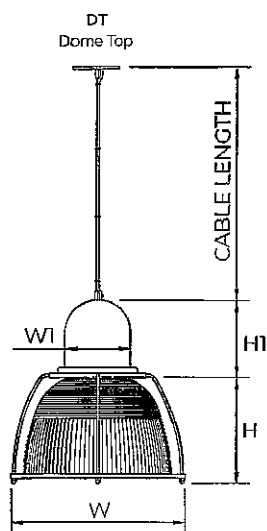
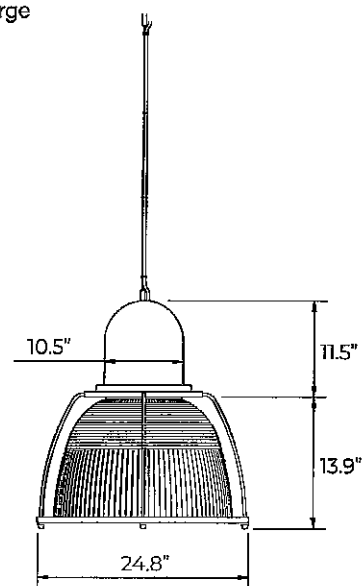
Small



Medium



Large



	W	W1	W2	W3	H	H1	H2	H3
Small	Ø14.9"	Ø5.5"	Ø6.0"	Ø6.0"	8.1"	7.3"	7.0"	2.0"
Medium	Ø18.7"	Ø7.0"	Ø8.0"	Ø8.0"	11.5"	8.4"	7.0"	2.0"
Large	Ø24.8"	Ø10.5"	Ø12.0"	Ø12.0"	13.9"	11.5"	8.0"	2.5"



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REV DATE:
10/92023

Township of Haverford

Ordinance No. 3014-2025

An Ordinance of Haverford Township, Delaware County, Commonwealth of Pennsylvania, amending Chapter 37, "Wards and Precincts," to amend portions of the boundaries of Ward Precincts 3-4 and 4-4 and the Ward Map to reapportion the Township's voting districts to contain nearly equal electors as practicable as officially and finally reported in the 2020 Federal Decennial Census.

Whereas, the Home Rule Charter of the Township of Haverford ("Township") and the Pennsylvania First Class Township Code authorizes the Haverford Township Board of Commissioners ("Board") to make and adopt ordinances consistent with the constitution and laws of this Commonwealth and with the Haverford Township Charter when necessary for the proper management, care and control of the Township and the maintenance of peace, good government, health and welfare of the Township and its citizens;

Whereas, Article IX, Section 11 of the Pennsylvania Constitution, and Section 12.05 of the Municipal Reapportionment Act (53 Pa.C.S.A. §§ 901, *et seq.*), require that all municipalities in which the elected officials are elected by districts, and not elected at-large, must examine the distribution of their voting districts to ensure that they are as nearly even in population as practicable after each decennial census is reported;

Whereas, pursuant to the Act, and in accordance with Sections 202 and 203 of the Township Charter, the Township has nine Township Commissioner Districts, referred to as "wards," that form a compact, contiguous territory following distinctive geographical boundaries. Such wards are required to contain, as nearly as possible, equal numbers of residents as determined by the latest official census of the United States Bureau of the Census, and may be changed in accordance with the law;

Whereas, legal guidance and precedent establishes that, to ensure an equal number of residents in each ward (as nearly as possible), no ward should deviate more than ten percent (10%) from the average population;

Whereas, the results of the decennial census revealed that Haverford Township voting districts are imbalanced in the number of electors, such that Ward 4 deviated above the average population by 10.6%, and Ward 3 deviated below the average population by 6.5%;

Whereas, relocating 425 electors from Ward 4-4 to Ward 3-4 would result in a deviation of approximately 3.1%, which would match the average deviation of all wards;

Whereas, such relocated electors would be located from Census Block's 1000, 1001, 1005, 1006, 1010, 1011, and 1012;

Whereas, it has been determined that such a relocation would not violate the Voting Rights Act, nor would the relocation have a substantial impact on election outcomes;

Whereas, for the above stated reasons, and to advance the health, welfare, and constitutional rights of the voters of Haverford Township, and to comply with the Pennsylvania Constitution and the Municipal Reapportionment Act, the Board desires to amend its Code of Ordinances, Chapter, 37, Wards and Precincts, to amend portions of the boundaries of Ward Precincts 3-4 and 4-4 and the Ward Map to reapportion the Township's voting districts to contain nearly equal electors as practicable as officially and finally reported in the 2020 Federal Decennial Census;

Whereas, the Township finds that the proposed amended districts, and the entire proposed Ward Map, would still result in contiguous and compact boundaries and that the nine Township wards would divide the Township electorate into nine evenly numbered voting districts;

Now, Therefore, be it Ordained and Enacted by the Haverford Township Board of Commissioners, that the voting district / ward map for Haverford Township is hereby repealed and replaced with the Ward Map attached hereto as **Exhibit "A"**, which shall be the official ward and voting district / precinct map of Haverford Township, Delaware County.

Now, Therefore, be it Further Ordained and Enacted by the Haverford Township Board of Commissioners, that the Haverford Township Code of Ordinances shall be amended as set forth below:

Section I: Amendment of the Code. The Haverford Township Code of Ordinances, Chapter 37, Wards and Precincts, is amended as follows:

Section 37-3, Ward No. 3, shall be amended to reflect the new Ward boundary shown on the Ward Map, with the written description amended to provide as follows:

The boundaries of Ward No. 3 shall be as shown on the attached map which is made part of this chapter, the written description thereof being as follows: Beginning at the point of intersection of the center of Philadelphia and Western R.R. (Southeastern Pennsylvania Transit Authority (SEPTA) Hi-Speed Line) with the center of Ardmore Avenue; thence southwestwardly along the center of Ardmore Avenue to its intersection with the extension of the southwesterly line of Delaware County Tax Map Parcel No. 22-04-006-6700; thence southeasterly along the southwesterly property line of Tax Map Parcel No. 22-04-006-6700 and the rear property lines of Tax Map Parcel Nos. 22-

04-006-6600 and 22-04-006-6500; thence along the southeasterly line of Tax Map Parcel No. 22-04-006-6400; thence along the rear lines of Tax Map Parcel Nos. 22-04-001-7100, 22-04-001-7001, 22-04-001-7000, 22-04-001-6901, and 22-04-001-6900 to its intersection with the southwesterly line of Tax Map Parcel No. 22-04-001-6900; thence northeasterly along the southeasterly line of 22-04-001-6900 to the southwesterly line of Tax Map Parcel No. 22-04-001-6800; thence southeasterly along the southwesterly line of Tax Map Parcel No. 22-04-001-6800 extended to the center line of West Golf View Road; thence southwestwardly along the center line of West Golf View Road to the center line of Ellis Road; thence southeastwardly along the center line of Ellis Road to the center line of Prescott Road; thence southeastwardly along the center line of Prescott Road to its intersection with the center of Hillcrest Avenue; thence southwestwardly and eastwardly along the center of Hillcrest Avenue to its intersection with the center of Eagle Road; thence southwestwardly along the center of Eagle Road to its intersection with the center of the Penn Central Railroad (formerly the Philadelphia and Baltimore Central Railroad) right-of-way; thence southeastwardly along the center of the Penn Central Railroad (formerly the Philadelphia and Baltimore Central Railroad) right-of-way to its intersection with the extension of the center of Wood Lane; thence northeastwardly and eastwardly along the extension of and the center of Wood Lane to its intersection with the center of Bellemead Avenue; thence southeastwardly along the center of Bellemead Avenue to its intersection with the center of Braeburn Road; thence northeastwardly along the center of Braeburn Road to its intersection with the center of the southbound travel lanes of Darby Road; thence northwardly along the center of the southbound travel lanes of Darby Road to its intersection with the center of Marthart Avenue; thence northeastwardly along the center of Marthart Avenue to its intersection with the center of Winton Avenue; thence northwestwardly along the center of Winton Avenue to its intersection with the center of Campbell Avenue; thence northeastwardly and southeastwardly along the center of Campbell Avenue to its intersection with the center of Hastings Avenue; thence northeastwardly along the center of Hastings Avenue to its intersection with the center of Earlington Road; thence northwestwardly along the center of Earlington Road to its intersection with the center of Eagle Road; thence southwestwardly along the center of Eagle Road to its intersection with the center of Poplar Road; thence northwestwardly along the center of Poplar Road to its intersection with the center of Linden Drive; thence northwestwardly along the center of and the extension of Linden Drive to its intersection with the center of Cobbs Creek; thence northwestwardly along the center of Cobbs Creek to its intersection with the center of Golf View Road; thence northeastwardly along the center of Golf View Road to its intersection with the center of Sunnybrook Lane; thence southeastwardly along the center of Sunnybrook Lane to its intersection with the extension of the common line between Tax Map Parcel Nos. 22-14-324 and 22-14-325; thence northeastwardly along said common line between Tax Map Parcel Nos. 22-14-324 and 22-14-325 to its intersection with the center of the Philadelphia and Western R.R. (Southeastern Pennsylvania Transportation Authority (SEPTA) Hi-Speed Line); thence northwestwardly along the center of the Philadelphia and Western R.R. (SEPTA Hi-Speed Line) to its intersection with the center of Ardmore Avenue, being the first mentioned point and place of beginning.

Section 37-4, Ward No. 4, shall be amended to reflect the new Ward boundary shown on the Ward Map, with the written description amended to provide as follows:

The boundaries of Ward No. 4 shall be as shown on the attached map which is made part of this chapter, the written description thereof being as follows: Beginning at the point of intersection of the center of West Chester Pike and Darby Creek; thence northwardly along the center of Darby Creek to its intersection with the northerly boundary of Haverford Township, also being the southerly boundary of Radnor Township; thence northeastwardly along the boundary of Haverford Township, also being the southerly boundary of Radnor Township, to its intersection with the center of Mill Road; thence southeastwardly along the center of Mill Road to its intersection with the center of Radnor Road; thence southwardly along the center of Radnor Road to its intersection with the center of Darby Road; thence southeastwardly along the center of Darby Road to its intersection with the center of Ardmore Avenue; thence northeastwardly along the center of Ardmore Avenue to its intersection with the extension of the northeasterly property line of Delaware County Tax Map Parcel No. 22-04-004-8216; thence southeastwardly along the northeasterly property line of Delaware County Tax Map Parcel No. 22-04-004-8216; thence along the rear property lines of Tax Map Parcel Nos. 22-04-004-8215, 22-04-004-8214, 22-04-004-8213, 22-04-004-8212, 22-04-004-8211, 22-04-004-8210, 22-04-004-5120, 22-04-004-5110, 22-04-004-5100, 22-04-001-6820 and 22-04-001-6810 to the common line between Tax Map Parcel No. 22-04-001-6810 and 22-04-001-6800; thence southeasterly along the common line between 22-04-001-6810 and 22-04-001-6800 extended to its intersection with the center of West Golf View Road; thence southwestwardly along the center line of West Golf View Road to its intersection with the center line of Ellis Road; thence southeastwardly along the center line of Ellis Road to its intersection with the center line of Prescott Road; thence southeastwardly along the center of Prescott Road to its intersection with the center of Hillcrest Avenue; thence southwestwardly and eastwardly along the center of Hillcrest Avenue to its intersection with the center of Eagle Road; thence southwestwardly and southwardly along the center of Eagle Road to its intersection with the center of Warren Avenue; thence westwardly along the center of Warren Avenue to its intersection with the center of Chester Avenue; thence northwardly along the center of Chester Avenue to its intersection with the center of Lawrence Road; thence westwardly along the center of Lawrence Road to its intersection with the center of Mt. Pleasant Road; thence southeastwardly along the center of Mt. Pleasant Road to its intersection with the center of Maryland Avenue; thence southeastwardly along the center of Maryland Avenue to its intersection with the center of Lynnewood Drive; thence southwestwardly along the center of Lynnewood Drive to its intersection with the center of Stanton Avenue; thence southeastwardly along the center of Stanton Avenue to its intersection with the center of Ashton Road; thence southwestwardly along the center of Ashton Road to its intersection with the rear line of Tax Map Parcel No. 22-30-066; thence westwardly along the rear line of Tax Map Parcel No. 22-30-066 to its intersection with the common line between Tax Map Parcel Nos. 22-30-066 and 22-30-067; thence southwardly along the extension of the common line between Tax Map Parcel Nos. 22-30-066 and 22-30-067 to its intersection with the center of West Chester Pike; thence westwardly along the center of West Chester Pike to its intersection with the center of Robinson Avenue; thence northeastwardly along the center of Robinson Avenue to its intersection with the center of Fairmont Road; thence northwestwardly along the center of Fairmont Road to its southerly intersection with the center of Circle Drive; thence northwestwardly and eastwardly along the center of Circle Drive to its northerly

intersection with the center of Fairmont Road; thence northwestwardly along the center of Fairmont Road to its intersection with the center of Lawrence Road; thence southwardly along the center of Lawrence Road to its intersection with the center of West Chester Pike; thence westwardly along the center of West Chester Pike to its intersection with the center of Darby Creek, being the first mentioned point and place of beginning.

Section 37-12.D, Precinct No. 3-4, shall be amended to reflect the new precinct boundary shown on the Ward Map, with the written description amended to provide as follows:

The boundaries of Precinct No. 3-4 shall be as shown on the attached map which is made part of this chapter, the written description thereof being as follows: Beginning at the point of intersection of the center of Ardmore Avenue with the center of Darby Road; thence southwestwardly along the center of Ardmore Avenue to its intersection with the extension of the southwesterly line of Delaware County Tax Map Parcel No. 22-04-006-6700; thence southeasterly along the southwesterly property line of Tax Map Parcel No. 22-04-006-6700 and the rear property lines of Tax Map Parcel Nos. 22-04-006-6600 and 22-04-006-6500; thence along the southeasterly line of Tax Map Parcel No. 22-04-006-6400; thence along the rear lines of Tax Map Parcel Nos. 22-04-001-7100, 22-04-001-7001, 22-04-001-7000, 22-04-001-6901, and 22-04-001-6900 to its intersection with the southwesterly line of Tax Map Parcel No. 22-04-001-6900; thence northeasterly along the southeasterly line of 22-04-001-6900 to the southwesterly line of Tax Map Parcel No. 22-04-001-6800; thence southeasterly along the southwesterly line of Tax Map Parcel No. 22-04-001-6800 extended to the center line of West Golf View Road; thence southwestwardly along the center line of West Golf View Road to the center line of Ellis Road; thence southeastwardly along the center line of Ellis Road to the center line of Prescott Road; thence southeastwardly along the center line of Prescott Road to the center line of Colfax Road; thence northeastwardly along the center line of Colfax Road to its intersection with the center of Grasslyn Avenue; thence southeastwardly along the center of Grasslyn Avenue to its intersection with the center of Eagle Road; thence northeastwardly along the center of Eagle Road to its intersection with the center of Clover Lane; thence northwestwardly along the center of and northerly extension of Clover Lane to its intersection with the center of Huntington Lane; thence northwestwardly along the center of and the northerly extension of Huntington Lane to its intersection with the center of Ardmore Avenue; thence southwestwardly along the center of Ardmore Avenue to the center of Darby Road, being the first mentioned point and place of beginning.

Section 37-13.D, Precinct No. 4-4, shall be amended to reflect the new precinct boundary shown on the Ward Map, with the written description amended to provide as follows:

The boundaries of Precinct No. 4-4 shall be as shown on the attached map which is made part of this chapter, the written description thereof being as follows: Beginning at the point of intersection of the center of Prescott Road and the center of Colfax Road; thence southwestwardly along the

center of Colfax Road to its intersection with the center of Merrybrook Drive; thence northwestwardly along the center of Merrybrook Drive to its intersection with the center of Paddock Road; thence northwestwardly along the center of Paddock Road to its intersection with the center of David Drive; thence northwestwardly along the center of David Drive to its intersection with the center of Ellis Road; thence northeastwardly along the center of Ellis Road to its intersection with the center of Ardmore Avenue; thence northeastwardly along the center of Ardmore Avenue to its intersection with the extension of the northeasterly property line of Delaware County Tax Map Parcel No. 22-04-004-8216; thence southeastwardly along the northeasterly property line of Delaware County Tax Map Parcel No. 22-04-004-8216; thence along the rear property lines of Tax Map Parcel Nos. 22-04-004-8215, 22-04-004-8214, 22-04-004-8213, 22-04-004-8212, 22-04-004-8211, 22-04-004-8210, 22-04-004-5120, 22-04-004-5110, 22-04-004-5100, 22-04-001-6820 and 22-04-001-6810 to the common line between Tax Map Parcel No. 22-04-001-6810 and 22-04-001-6800; thence southeasterly along the common line between 22-04-001-6810 and 22-04-001-6800 extended to its intersection with the center of West Golf View Road; thence southwestwardly along the center line of West Golf View Road to its intersection with the center line of Ellis Road; thence southeastwardly along the center line of Ellis Road to its intersection with the center line of Prescott Road; thence southeastwardly along the center of Prescott Road to its intersection with the center of Colfax Road, being the first mentioned point and place of beginning.

SECTION II: REFLECTION OF CHANGES TO WARDS AND PRECINCTS

For ease of review, the specific changes made to the amended boundary descriptions are reflected in **Exhibit "B"**.

Unless for the ward and precinct changes set forth above in Section I, the ward and precinct boundaries of the remaining wards and precincts shall remain unchanged, as such contain nearly equal electors as practicable.

Section III: Repealer. All Ordinances or parts of Ordinances inconsistent herewith or in conflict with any of the specific terms enacted hereby, to the extent of said inconsistencies or conflicts, are hereby specifically repealed.

Section IV: Revisions. The Haverford Township Board of Commissioners does hereby reserve the right, from time to time, to adopt modifications of, supplements to, or amendments of this Ordinance.

Section V: Severability. If any section, sentence, clause, phrase or word of this Ordinance shall be declared illegal, invalid or unconstitutional by any Court of competent jurisdiction, such declaration shall not prevent, preclude or otherwise foreclose enforcement of any of the remaining portions of this Ordinance.

Section VI: Effective Date. This amendment shall become effective upon the legal date of its adoption.

Section VII: Failure to Enforce not a Waiver. The failure of Haverford Township to enforce any provision of this Ordinance shall not constitute a waiver by the Township of its rights of future enforcement hereunder.

Enacted and Adopted this 14th day of April, 2025.

Township of Haverford

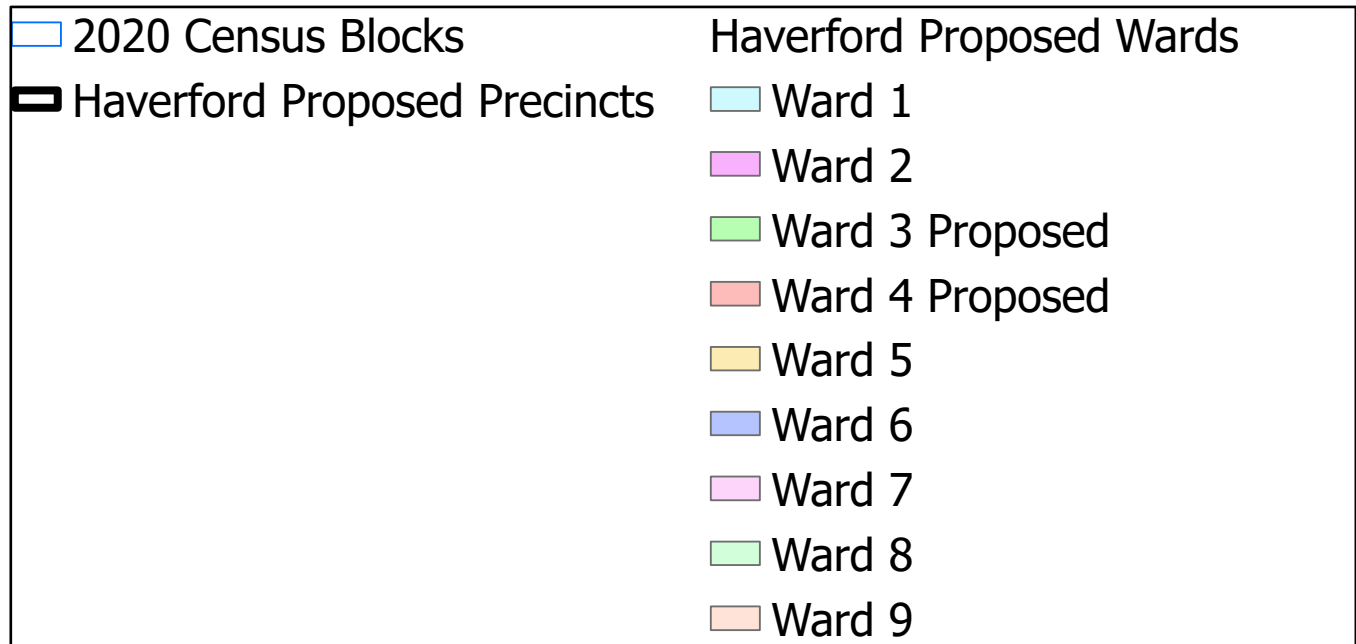
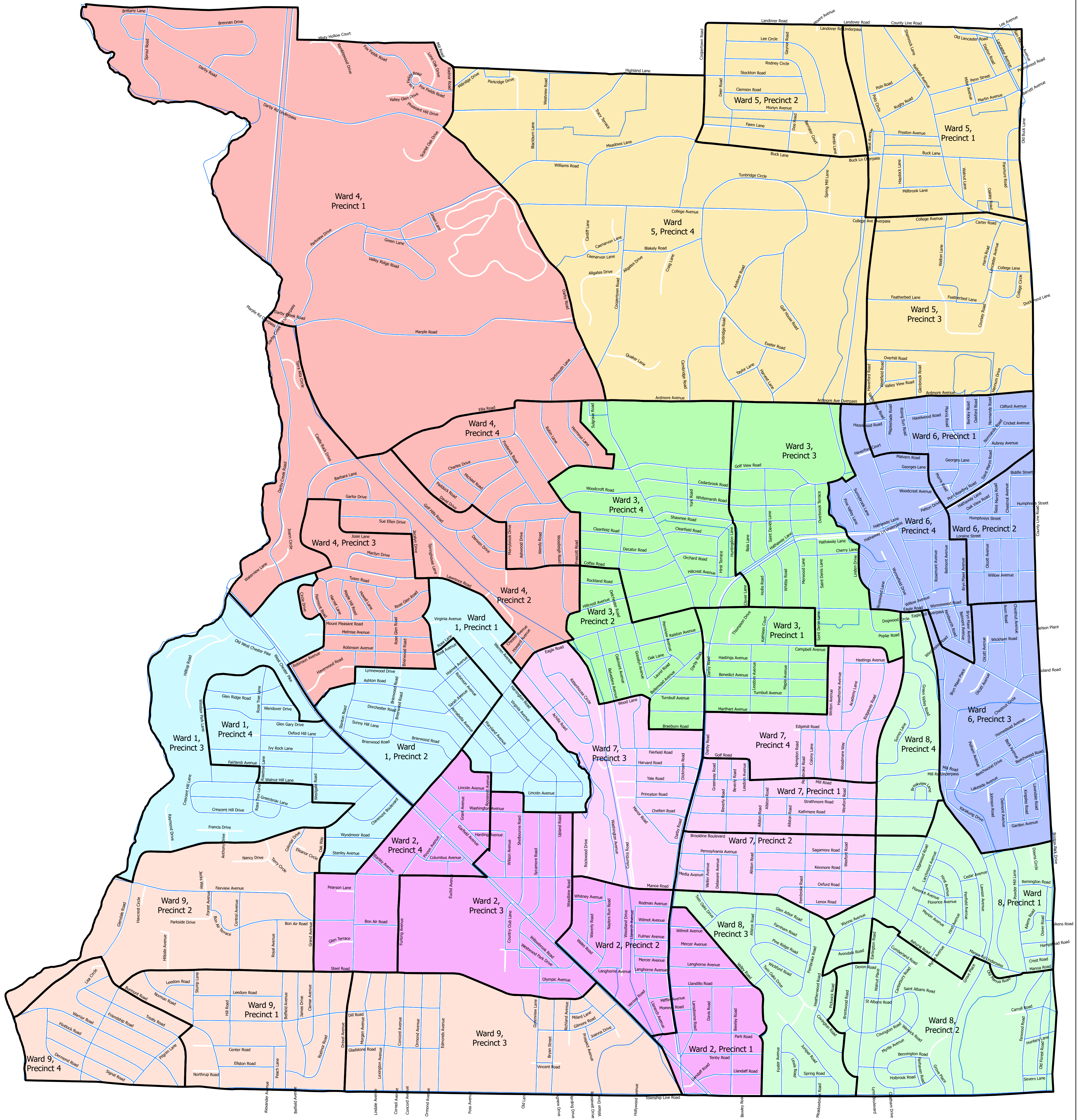
By:

Judy Trombetta, President, Board of Commissioners

Attest:

David R. Burman, Township Manager/Secretary

EXHIBIT “A”
REVISED WARD MAP



REAPPORTIONED POPULATION	WARD 01	WARD 02	WARD 03	WARD 04	WARD 05	WARD 06	WARD 07	WARD 08	WARD 09
PRECINCT 01	1,239	1,010	1,510	1,574	1,563	1,628	1,107	1,673	1,563
PRECINCT 02	1,170	1,379	1,091	1,580	982	1,035	1,328	1,653	1,600
PRECINCT 03	1,522	1,858	1,301	1,440	1,689	1,373	1,815	1,695	1,052
PRECINCT 04	1,769	1,374	1,762	1,179	1,170	1,459	1,223	680	1,385
Total	5,700	5,621	5,664	5,773	5,404	5,495	5,473	5,701	5,600
Mean	5,603	5,603	5,603	5,603	5,603	5,603	5,603	5,603	5,603
Deviation From Mean #	97	18	61	170	-199	-108	-130	98	-3
Deviation From Mean %	1.7%	0.3%	1.1%	3.0%	-3.6%	-1.9%	-2.3%	1.7%	-0.1%

Date: August, 14, 2024

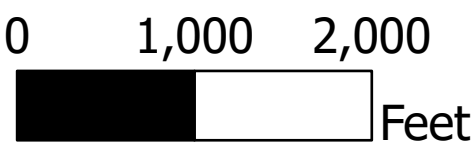


EXHIBIT "B"

AMENDED BOUNDARY DESCRIPTIONS

Ward 3

The boundaries of Ward No. 3 shall be as shown on the attached map which is made part of this chapter, the written description thereof being as follows: Beginning at the point of intersection of the center of Philadelphia and Western R.R. (Southeastern Pennsylvania Transit Authority (SEPTA) Hi-Speed Line) with the center of Ardmore Avenue; thence southwestwardly ~~along~~ the center of Ardmore Avenue to its intersection with the extension of the southwesterly line of Delaware County Tax Map Parcel No. 22-04-006-6700; thence southeasterly along the southwesterly property line of Tax Map Parcel No. 22-04-006-6700 and the rear property lines of Tax Map Parcel Nos. 22-04-006-6600 and 22-04-006-6500; thence along the southeasterly line of Tax Map Parcel No. 22-04-006-6400; thence along the rear lines of Tax Map Parcel Nos. 22-04-001-7100, 22-04-001-7001, 22-04-001-7000, 22-04-001-6901, and 22-04-001-6900 to its intersection with the southwesterly line of Tax Map Parcel No. 22-04-001-6900; thence northeasterly along the southeasterly line of 22-04-001-6900 to the southwesterly line of Tax Map Parcel No. 22-04-001-6800; thence southeasterly along the southwesterly line of Tax Map Parcel No. 22-04-001-6800 extended to the center line of West Golf View Road; thence southwestwardly along the center line of West Golf View Road to the center line of Ellis Road; thence southeastwardly along the center line of Ellis Road to the center line of Prescott Road; thence southeastwardly along the center line of Prescott Road to its intersection with the center of Hillcrest Avenue; thence southwestwardly and eastwardly along the center of Hillcrest Avenue to its intersection with the center of Eagle Road; thence southwestwardly along the center of Eagle Road to its intersection with the center of the Penn Central Railroad (formerly the Philadelphia and Baltimore Central Railroad) right-of-way; thence southeastwardly along the center of the Penn Central Railroad (formerly the Philadelphia and Baltimore Central Railroad) right-of-way to its intersection with the extension of the center of Wood Lane; thence northeastwardly and eastwardly along the extension of and the center of Wood Lane to its intersection with the center of Bellemead Avenue; thence southeastwardly along the center of Bellemead Avenue to its intersection with the center of Braeburn Road; thence northeastwardly along the center of Braeburn Road to its intersection with the center of the southbound travel lanes of Darby Road; thence northwardly along the center of the southbound travel lanes of Darby Road to its intersection with the center of Marthart Avenue; thence northeastwardly along the center of Marthart Avenue to its intersection with the center of Winton Avenue; thence northwestwardly along the center of Winton Avenue to its intersection with the center of Campbell Avenue; thence northeastwardly and southeastwardly along the center of Campbell Avenue to its intersection with the center of Hastings Avenue; thence northeastwardly along the center of Hastings Avenue to its intersection with the center of Earlington Road; thence northwestwardly along the center of Earlington Road to its intersection with the center of Eagle Road; thence southwestwardly along the center of Eagle Road to its intersection with the center of

Poplar Road; thence northwestwardly along the center of Poplar Road to its intersection with the center of Linden Drive; thence northwestwardly along the center of and the extension of Linden Drive to its intersection with the center of Cobbs Creek; thence northwestwardly along the center of Cobbs Creek to its intersection with the center of Golf View Road; thence northeastwardly along the center of Golf View Road to its intersection with the center of Sunnybrook Lane; thence southeastwardly along the center of Sunnybrook Lane to its intersection with the extension of the common line between Tax Map Parcel Nos. 22-14-324 and 22-14-325; thence northeastwardly along said common line between Tax Map Parcel Nos. 22-14-324 and 22-14-325 to its intersection with the center of the Philadelphia and Western R.R. (Southeastern Pennsylvania Transportation Authority (SEPTA) Hi-Speed Line); thence northwestwardly along the center of the Philadelphia and Western R.R. (SEPTA Hi-Speed Line) to its intersection with the center of Ardmore Avenue, being the first mentioned point and place of beginning.

Ward 4

The boundaries of Ward No. 4 shall be as shown on the attached map which is made part of this chapter, the written description thereof being as follows: Beginning at the point of intersection of the center of West Chester Pike and Darby Creek; thence northwardly along the center of Darby Creek to its intersection with the northerly boundary of Haverford Township, also being the southerly boundary of Radnor Township; thence northeastwardly along the boundary of Haverford Township, also being the southerly boundary of Radnor Township, to its intersection with the center of Mill Road; thence southeastwardly along the center of Mill Road to its intersection with the center of Radnor Road; thence southwardly along the center of Radnor Road to its intersection with the center of Darby Road; thence southeastwardly along the center of Darby Road to its intersection with the center of Ardmore Avenue; thence northeastwardly along the center of Ardmore Avenue to its intersection with the extension of the northeasterly property line of Delaware County Tax Map Parcel No. 22-04-004-8216; thence southeastwardly along the northeasterly property line of Delaware County Tax Map Parcel No. 22-04-004-8216; thence along the rear property lines of Tax Map Parcel Nos. 22-04-004-8215, 22-04-004-8214, 22-04-004-8213, 22-04-004-8212, 22-04-004-8211, 22-04-004-8210, 22-04-004-5120, 22-04-004-5110, 22-04-004-5100, 22-04-001-6820 and 22-04-001-6810 to the common line between Tax Map Parcel No. 22-04-001-6810 and 22-04-001-6800; thence southeasterly along the common line between 22-04-001-6810 and 22-04-001-6800 extended to its intersection with the center of West Golf View Road; thence southwesterly along the center line of West Golf View Road to its intersection with the center line of Ellis Road; thence southeastwardly along the center line of Ellis Road to its intersection with the center line of Prescott Road; thence southeastwardly along the center of Prescott Road to its intersection with the center of Hillcrest Avenue; thence southwestwardly and eastwardly along the center of Hillcrest Avenue to its intersection with the center of Eagle Road; thence southwestwardly and southwardly along the center of Eagle Road to its intersection with

the center of Warren Avenue; thence westwardly along the center of Warren Avenue to its intersection with the center of Chester Avenue; thence northwardly along the center of Chester Avenue to its intersection with the center of Lawrence Road; thence westwardly along the center of Lawrence Road to its intersection with the center of Mt. Pleasant Road; thence southeastwardly along the center of Mt. Pleasant Road to its intersection with the center of Maryland Avenue; thence southeastwardly along the center of Maryland Avenue to its intersection with the center of Lynnewood Drive; thence southwestwardly along the center of Lynnewood Drive to its intersection with the center of Stanton Avenue; thence southeastwardly along the center of Stanton Avenue to its intersection with the center of Ashton Road; thence southwestwardly along the center of Ashton Road to its intersection with the rear line of Tax Map Parcel No. 22-30-066; thence westwardly along the rear line of Tax Map Parcel No. 22-30-066 to its intersection with the common line between Tax Map Parcel Nos. 22-30-066 and 22-30-067; thence southwardly along the extension of the common line between Tax Map Parcel Nos. 22-30-066 and 22-30-067 to its intersection with the center of West Chester Pike; thence westwardly along the center of West Chester Pike to its intersection with the center of Robinson Avenue; thence northeastwardly along the center of Robinson Avenue to its intersection with the center of Fairmont Road; thence northwestwardly along the center of Fairmont Road to its southerly intersection with the center of Circle Drive; thence northwestwardly and eastwardly along the center of Circle Drive to its northerly intersection with the center of Fairmont Road; thence northwestwardly along the center of Fairmont Road to its intersection with the center of Lawrence Road; thence southwardly along the center of Lawrence Road to its intersection with the center of West Chester Pike; thence westwardly along the center of West Chester Pike to its intersection with the center of Darby Creek, being the first mentioned point and place of beginning.

Precinct 3-4

The boundaries of Precinct No. 3-4 shall be as shown on the attached map which is made part of this chapter, the written description thereof being as follows: Beginning at the point of intersection of the center of Ardmore Avenue with the center of Darby Road; thence southwestwardly along the center of Ardmore Avenue to its intersection with the extension of the southwesterly line of Delaware County Tax Map Parcel No. 22-04-006-6700; thence southeasterly along the southwesterly property line of Tax Map Parcel No. 22-04-006-6700 and the rear property lines of Tax Map Parcel Nos. 22-04-006-6600 and 22-04-006-6500; thence along the southeasterly line of Tax Map Parcel No. 22-04-006-6400; thence along the rear lines of Tax Map Parcel Nos. 22-04-001-7100, 22-04-001-7001, 22-04-001-7000, 22-04-001-6901, and 22-04-001-6900 to its intersection with the southwesterly line of Tax Map Parcel No. 22-04-001-6900; thence northeasterly along the southeasterly line of 22-04-001-6900 to the southwesterly line of Tax Map Parcel No. 22-04-001-6800; thence southeasterly along the southwesterly line of Tax Map Parcel No. 22-04-001-6800 extended to the center line of West Golf View Road; thence southwestwardly along the center line of West Golf View Road to the center line

of Ellis Road; thence southeastwardly along the center line of Ellis Road to the center line of Prescott Road; thence southeastwardly along the center line of Prescott Road to the center line of Colfax Road; thence northeastwardly along the center line of Colfax Road to its intersection with the center of Grasslyn Avenue; thence southeastwardly along the center of Grasslyn Avenue to its intersection with the center of Eagle Road; thence northeastwardly along the center of Eagle Road to its intersection with the center of Clover Lane; thence northwestwardly along the center of and northerly extension of Clover Lane to its intersection with the center of Huntington Lane; thence northwestwardly along the center of and the northerly extension of Huntington Lane to its intersection with the center of Ardmore Avenue; thence southwestwardly along the center of Ardmore Avenue to the center of Darby Road, being the first mentioned point and place of beginning.

Precinct 4-4

The boundaries of Precinct No. 4-4 shall be as shown on the attached map which is made part of this chapter, the written description thereof being as follows: Beginning at the point of intersection of the center of Prescott Road and the center of Colfax Road; thence southwestwardly along the center of Colfax Road to its intersection with the center of Merrybrook Drive; thence northwestwardly along the center of Merrybrook Drive to its intersection with the center of Paddock Road; thence northwestwardly along the center of Paddock Road to its intersection with the center of David Drive; thence northwestwardly along the center of David Drive to its intersection with the center of Ellis Road; thence northeastwardly along the center of Ellis Road to its intersection with the center of Ardmore Avenue; thence northeastwardly along the center of Ardmore Avenue to its intersection with the extension of the northeasterly property line of Delaware County Tax Map Parcel No. 22-04-004-8216; thence southeastwardly along the northeasterly property line of Delaware County Tax Map Parcel No. 22-04-004-8216; thence along the rear property lines of Tax Map Parcel Nos. 22-04-004-8215, 22-04-004-8214, 22-04-004-8213, 22-04-004-8212, 22-04-004-8211, 22-04-004-8210, 22-04-004-5120, 22-04-004-5110, 22-04-004-5100, 22-04-001-6820 and 22-04-001-6810 to the common line between Tax Map Parcel No. 22-04-001-6810 and 22-04-001-6800; thence southeasterly along the common line between 22-04-001-6810 and 22-04-001-6800 extended to its intersection with the center of West Golf View Road; thence southwesterly along the center line of West Golf View Road to its intersection with the center line of Ellis Road; thence southeastwardly along the center line of Ellis Road to its intersection with the center line of Prescott Road; thence southeastwardly along the center of Prescott Road to its intersection with the center of Colfax Road, being the first mentioned point and place of beginning.

Township of Haverford

Ordinance No. 3015-2025

An Ordinance of the Township of Haverford, County of Delaware, Commonwealth of Pennsylvania, further amending and supplementing Ordinance No. 1960, adopted June 30, 1986, and known as "General Laws of the Township of Haverford" Chapter 175, Vehicles and Traffic.

Be it enacted and ordained by the Board of Commissioners of the Township of Haverford, County of Delaware, Commonwealth of Pennsylvania:

Section 1: That Section 175-83, Schedule VIII: Stop Intersections:

Stop sign on Rosewood Lane at Linden Drive.

Section 2: Upon effective date of this ordinance, the Highway Department shall install appropriate signs in the designated section or zones giving notice of the regulations aforesaid.

Section 3. Any ordinance or part of an ordinance to the extent that it is inconsistent herewith is hereby repealed.

Enacted and adopted this 14th day of April 2025.

Township of Haverford

By:

Judy Trombetta, President, Board of Commissioners

Attest:

David R. Burman, Township Manager/Secretary



TOWNSHIP OF
HAVERFORD
DELAWARE COUNTY
1014 DARBY ROAD
HAVERTOWN, PA 19083-2551
(610) 446-1000

Memorandum

To: David R. Burman, Township Manager
From: Sgt. T.J. Long, Special Operations Unit
Subject: Recommendation to Amend Chapter 175
Date: March 6, 2025

The Haverford Township Police Department supports the following amendment to the Township Code Chapter 175-83 Schedule VIII: Stop Intersections, to include a stop sign in both directions on Hill Road at the intersection with Leedom Road.

If the ordinance is approved, it would be added to read: Stop signs on Hill Road, in both directions, at the intersection with Leedom Road.

Township of Haverford

Ordinance No. P5-2025

An Ordinance of the Township of Haverford, County of Delaware, Commonwealth of Pennsylvania, further amending and supplementing Ordinance No. 1960, adopted June 30, 1986, and known as "General Laws of the Township of Haverford" Chapter 175, Vehicles and Traffic.

Be it enacted and ordained by the Board of Commissioners of the Township of Haverford, County of Delaware, Commonwealth of Pennsylvania:

Section 1: That Section 175-83, Schedule VIII: Stop Intersections:

Stop sign on Hill Road, in both directions, at the intersection with Leedom Road.

Section 2: Upon effective date of this ordinance, the Highway Department shall install appropriate signs in the designated section or zones giving notice of the regulations aforesaid.

Section 3. Any ordinance or part of an ordinance to the extent that it is inconsistent herewith is hereby repealed.

Enacted and adopted this 12th day of May 2025.

Township of Haverford

By:

Judy Trombetta, President, Board of Commissioners

Attest:

David R. Burman, Township Manager/Secretary

Township of Haverford

Ordinance No. P6-2025

An Ordinance of the Township of Haverford, County of Delaware, Commonwealth of Pennsylvania, Accepting the Dedication of a Certain Sanitary Sewer System, Identified as the Darby Road Sanitary Sewer Facilities.

Whereas, Haverford Township did approve the “Record Plan-Preliminary/Final Proposed Subdivision Plan for 0 Darby Road”, prepared by Catania Engineering Associates and dated June 24, 2022, and last revised on July 14, 2022, for a subdivision resulting in a total of two (2) parcels on September 12, 2022, by Board Resolution No. 2277-2022; and

Whereas, the aforesaid plans provided for the construction of certain improvements needed to construct homes on Darby Road, specifically the sanitary sewer located along Darby Road; and

Whereas, the tract of land containing the public improvements is owned by E2 Darby Road, LLC., a Pennsylvania limited liability company; and

Whereas, the developer has completed the improvements as depicted on the said Plan as required and certified by the Township Engineer; and

Be it Enacted and Ordained by the Board of Commissioners of the Township of Haverford, County of Delaware, Commonwealth of Pennsylvania, that the Board deems it in the best interest of the Township of Haverford to accept dedication of the Darby Road Sanitary Sewer Facilities as public land as follows:

Section I. Dedication of the Darby Road Sanitary Sewer Facilities. The Township of Haverford hereby accepts the Deed Dedication from E2 Darby Road, LLC. of sewer serving the Darby Road subdivision located along Darby Road as more fully described in the Deed of Dedication to Haverford Township on Exhibit “A” attached hereto and made a part hereof.

Section II. Any ordinance or part of ordinance to the extent that it is inconsistent herewith is hereby repealed.

Section III. Severability. Should any section, sentence, word or provision of this ordinance be declared by a Court of competent jurisdiction to be invalid, such decision shall not affect the validity of this Ordinance as a whole.

Section IV. Effective Date. This ordinance shall become effective 10 days following final adoption by the Board of Commissioners and publication as required by law.

Enacted and Adopted this 12th day of May, 2025.

Township of Haverford

By:

Judy Trombetta, President, Board of Commissioners

Attest:

David R. Burman, Township Manager/Secretary

Transaction is exempt under 72 P.S. Section 8102-C.3(1) as the transfer by dedication to a Pennsylvania political subdivision.

Record and Return to:
Haverford Township
1014 Darby Road,
Havertown PA 19083

Tax Folio No: 22-04-00215-01 & 22-04-00215-02

Address: Sanitary Sewers for Darby Road Subdivision, Haverford Township, Delaware County.

HAVERFORD TOWNSHIP, DELAWARE COUNTY

**DARBY ROAD SUBDIVISION – E2 DARBY ROAD, LLC
DEED OF DEDICATION
SANITARY SEWERS**

THIS DEED OF DEDICATION. Offered this _____ day of _____
2025 by **E2 DARBY ROAD, LLC**, a Pennsylvania limited liability company, having and address
of **2375 West Chester Pike, Broomall, Pennsylvania 19008** (the "**Grantor**"); and

ACCEPTED this _____ day of _____, 2025 by **HAVERFORD
TOWNSHIP**, Delaware County, a Pennsylvania Township of the First Class, and having an
address of 1014 Darby Road, Havertown Pennsylvania 19083 (the "**Grantee**").

WITNESSETH:

THAT, the said Grantor, for and in consideration of the advantages to it accruing and for
diverse and other consideration affecting the public welfare which it seeks to advance, has
granted, bargained, sold, aliened, enfeoffed, released, conveyed, assigned and confirmed unto the
said Grantee, its successors and assigns, as Haverford Township, Delaware County,
Commonwealth of Pennsylvania.

ALL THOSE CERTAIN easements and rights-of-way (including sanitary sewer lines,
mains, manholes, laterals, their accessories and appurtenances consisting or underground pipe,
conduits, manholes, drains, markers, mains, service connections and related apparatus contained
therein and also including those in the beds and rights-of-way of **Darby Road** (but excluding
any part or portion of any dwelling sewer lateral) (collectively the "**Sanitary Sewer
Facilities**"); the Sewer Facilities being depicted on an As-Built Plan entitled *AS—BUILT OFFSITE
SEWER IMPROVEMENT PLAN for Darby Road, E2 Darby Road, LLC*, as prepared by Catania
Engineering Assoc., Inc., dated October 20, 2023 consisting of sheet 1 of 1 (the "Plan"); said **plan**
being attached hereto and made a part hereof as **Exhibit "A"**,

TOGETHER with the right of ingress, egress and regress, in common with others, and the
right to install, construct, reconstruct, replace, remove, enlarge, inspect, operate, repair,
maintain and/or make connections thereto and to receive and convey sewage, regardless of
source, there through,

Transaction is exempt under 72 P.S. Section 8102-0.3(1) as the transfer by dedication to a Pennsylvania political subdivision.

TOGETHER with, all and singular the improvements, ways, streets, alleys, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging or in any wise appertaining to the reversions and remainders, rents, issues, and profits thereof; and all the estate right, title, interest, property, claim and demand of them the said Grantors, as well at law as in equity, of in and to the same.

TO HAVE AND TO HOLD the said above described Sanitary Sewer Facilities unto the said Grantee, Haverford Township, Delaware County, Commonwealth of Pennsylvania, to and for the only proper use and behoof of said Grantee, its successors and assigns, forever as and for a conveyance of sanitary sewage regardless of the source of such sewage and related public services to the same extent and with the same effect as if the said Sanitary Sewer Facilities had been installed after proceedings duly had for that purpose under and pursuant to the laws of the Commonwealth of Pennsylvania.

BEING part of the same premises which Grantor, obtained in fee by Deed dated on or about December 27, 2022 and recorded in the Office of the Recorder of Deeds, in and for the County of Delaware in Record Book 6880, Page 0736.

IN WITNESS WHEREOF, the Grantor, intending to be legally bound, set its hand and seal the day and year first above written.

GRANTOR:

E2 DARBY ROAD, LLC

A Pennsylvania Limited Liability Company

By: _____

Name: _____

Title: _____

(Grantor Seal)

Transaction is exempt under 72 P.S. Section 8102-C.3(1) as the transfer by dedication to a Pennsylvania political subdivision.

ACCEPTED by Haverford Township, Delaware County, at a public meeting held on _____, **2025**.

**BOARD OF COMMISSIONERS
OF HAVERFORD TOWNSHIP,
Delaware County**

Attest: _____ **By:** _____
Township Secretary President

(Township Seal)

Transaction is exempt under 72 P.S. Section 8102-0.3(1) as the transfer by dedication to a Pennsylvania political subdivision.

ACKNOWLEDGEMENTS

COMMONWEALTH OF PENNSYLVANIA

: SS

COUNTY OF

On this _____ day of _____, 2025, before me a notary public, duly commissioned in and for said County and Commonwealth, personally appeared the within named _____, known to me (or satisfactorily proven) to be the _____ of _____, a Pennsylvania limited liability company (the "Company") and that he, being authorized to do so, executed the foregoing instrument for the purposes contained therein, on behalf of the Company by signing his name as _____ of such Company for the purposes therein contained and intending the same might be recorded as such.

WITNESS my hand and notarial seal the day and year aforesaid.

Notary Public(Seal)

Commission Expires

Transaction is exempt under 72 P.S. Section 8102-G.3(1) as the transfer by dedication to a Pennsylvania political subdivision.

COMMON EALTH OF PENNSYLVANIA

: SS

COUNTY OF DELAWARE

On this _____ day of _____, 2025, before me, a notary public, duly commissioned in and for said County and Commonwealth, personally appeared _____, who acknowledged himself to be the President of the BOARD OF COMMISSIONERS OF HAVERFORD TOWNSHIP, Delaware County, and that he as such President, being authorized to do so, executed the foregoing instrument for the purposes therein contained by signing the name of Haverford Township by himself as President, for the purposes therein contained and desiring that the same might be recorded as such.

Witness my hand and notarial seal the day and year aforesaid.

Notary Public

(Seal)

Commission Expires

Transaction is exempt under 72 P.S. Section 8102-G.3(1) as the transfer by dedication to a Pennsylvania political subdivision.

EXHIBIT “A”

AS-BUILT PLAN FOR SANITARY SEWER FACILITIES



TOWNSHIP OF
HAVERFORD

DELAWARE COUNTY
1014 DARBY ROAD
HAVERTOWN, PA 19083-2551
(610) 446-1000

JUDY TROMBETTA, PRESIDENT
KEVIN MCCLOSKEY, ESQ., VICE PRESIDENT
DAVID R. BURMAN, TWP MANAGER/SECRETARY
AIMEE CUTHBERTSON, CPA, ASS'T TWP MANAGER
JOHN F. WALKO, SOLICITOR
PENNONI ASSOCIATES INC., ENGINEER

WARD COMMISSIONERS
1ST WARD BRIAN D. GONDEK, ESQ.
2ND WARD SHERYL FORSTE-GRUPP, PHD.
3RD WARD KEVIN MCCLOSKEY, ESQ.
4TH WARD JUDY TROMBETTA
5TH WARD LAURA CAVENDER
6TH WARD LARRY HOLMES, ESQ.
7TH WARD CONOR QUINN
8TH WARD GERARD T. HART, MD
9TH WARD MICHAEL MCCOLLUM

HAVTT 30241

April 1, 2025

Jaime Jilozian, Director of Community Development
Haverford Township
1014 Darby Road
Havertown, PA 19083

**RE: 4008 Darby Road
Ebuild Construction, LLC
Re-inspection of Low-Pressure Sanitary Sewer Facilities**

Dear Ms. Jilozian:

We have reviewed the modifications the developer has recently completed to address the comments of our previous February 18, 2025 letter. The outstanding items noted have been satisfactorily addressed.

Should you have any questions or comments, please feel free to contact the undersigned.

Sincerely,

PENNONI

Charles Faulkner, PE
Senior Engineer

cf

cc: Ed Gallagher, EBuild Construction, LLC (via email)
Michael J Ciocco, PE, Catania Engineering Associates, Inc. (via email)
Dave Burman, Township Manager (via email)

U:\Accounts\HAVTT\HAVTT30241 - 4008 Darby Rd Ebuild Const LLC LDE 22-04\DOC PREP\HAVTT 30241 - 4008 Darby Road Final Inspection Ltr.docx

Township of Haverford

Resolution No. 2447-2025

Resolution of the Township of Haverford, County of Delaware, Commonwealth of Pennsylvania, for Preliminary/Final Land Development Plan Approval for the Haverford School District for a Building Addition, Parking Area and Stormwater Management at Coopertown Elementary School at 800 Coopertown Road, Haverford

Whereas, Act 247 of 1968, the Pennsylvania Municipalities Planning Code, empowers the Haverford Township Board of Commissioners to regulate subdivisions and land developments within the Township; and

Whereas, Haverford Township desires orderly and appropriate land use and development to protect the health, safety, and welfare of residents; and

Whereas, The Haverford Township School District (“Applicant”) desires to develop the Coopertown Elementary School located at 800 Coopertown Road, Haverford, PA, Delaware County, known as D.C. Folio No. 22-05-00426-00 (“Property”) to construct a 12,000 square foot addition and associated parking lot and stormwater management system (“Project”). The Property is zoned INS Institutional District and is located in the 5th Ward; and

Whereas, the Preliminary / Final Subdivision and Land Development Plan submitted for the Project was prepared by K&W Engineers, Harrisburg, PA, latest plan revision dated February 21, 2025 (“Plan”); and

Whereas, the Planning Commission of Haverford Township, at the public meeting of Thursday, March 13, 2025, voted to recommend approval of the Plan and the requested waivers subject to the comments contained within the February 26, 2025 review letter prepared by Pennoni Associates; and

Whereas, said Plan has been submitted to the Board of Commissioners of the Township of Haverford for consideration in accordance with the Pennsylvania Municipalities Planning Code and pursuant to the Haverford Township Subdivision and Land Development Regulations, Ordinance 1960, Chapter 160, Sections 4. A and B.

Now, Therefore, Be It Resolved by the Board of Commissioners of the Township of Haverford that the Plan is APPROVED subject to the following conditions:

A. Conditions of Plan Approval.

1. The Applicant must ensure that the Plan addresses any outstanding comments in the February 26, 2025 Township engineer review letter prepared by Pennoni Associates. Further, the Applicant shall comply with future review letters related to future Plan revisions made in response to prior comments to the reasonable satisfaction of the Township Engineer.
2. The Applicant shall comply with the following condition made subject to the Planning Commission recommendation on March 13, 2025 as follows:
 - The Applicant shall provide a fire hydrant as requested by the Township Chief Fire Code Official's Memorandum dated February 25, 2025.
3. A subsequent recordable final plan shall be submitted for internal Township review that addresses all Township Engineer review letter requests, further Plan details and clarifications, or revisions based upon the terms of this Resolution.
4. Applicant must comply with any applicable requirements of the Delaware County Conservation District, Pennsylvania Department of Environmental Protection, Pennsylvania Department of Transportation (including, but not limited to, obtaining any necessary Highway Occupancy Permits and Signal Permits required by PennDot), United States Environmental Protection Agency, or any other necessary outside agency, and obtain any necessary planning modules, approvals, or permits from such agencies, or enter into any required agreements such agencies require, before the Plan is recorded.
5. Pursuant to Section 78-51 of the Township Code, Applicant shall pay the required contribution to the Township Stormwater BMP Operation and Maintenance Fund in the amount of \$2,200.
6. The conditions of this Resolution must be satisfied, and all fees and costs set forth in this Resolution shall be paid, before the issuance of a building permit for the Project.
7. Applicant must complete and record all required easements and/or maintenance agreements or declarations, including, but not limited to, a stormwater management facilities operation and maintenance agreement (requiring, in part, perpetual maintenance of all stormwater management facilities installed according to the Plan by the landowner of the Property) in forms reasonably satisfactory to the Township Engineer and Township Solicitor prior to recording the Plan. Applicant will provide all necessary legal descriptions for any necessary easements.

8. Prior to recording the Plan, the Applicant shall execute a Land Development and Financial Security Agreement to guarantee the installation of all public improvements associated with the Project (“Improvements”) on a form drafted by the Township Solicitor. Financial Security shall take the form of a cash escrow held by the Township, an irrevocable standby letter of credit in a form acceptable to the Township Solicitor, or a tri-party agreement in a form acceptable to the Township Solicitor. If Applicant were to post financial security in the form of a bond, the Township Solicitor shall have the unconditional right to review the bond and must approve the conditions and language of the bond. Further, the bond shall be issued by a “AAA” rate surety, or its equivalent, qualified to do business in Pennsylvania, and shall contain language stating that the bond is to be payable upon demand, absolutely, and unconditionally, and if payment is not made, that the bonding company shall be responsible for reasonable attorneys’ fees and costs that are incurred to collect on the bond, plus interest at the annual rate of twelve (12%) percent, for so long as the bond remains unpaid. A bond or letter of credit is required to automatically renew annually until the Improvements detailed on the Plans are completed, any maintenance periods have passed, and the final release is issued by the Township, subject to partial releases being permitted in accordance with Pennsylvania Municipalities Planning Code. To ensure automatic renewal, a bond or letter of credit shall include a 90-day Evergreen Clause in a form acceptable to the Township Solicitor.
9. Financial security shall be posted in the amount of 110% of the total cost of the Improvements. The Applicant agrees that the Improvements shall include, but shall not be limited to, streets, parking areas, striping, drive aisles, curbs, water mains, sanitary sewer pipes, manholes and appurtenances thereto, stormwater facilities, rain gardens and appurtenances, grading, erosion and sediment controls, public lighting, required trees, shrubs, plantings and landscape buffering, monuments, pins, sidewalks, or other public improvements designated by the Township Engineer in accordance with the Pennsylvania Municipalities Planning Code. For a period not less than 18 months after Township Engineer approval of the Improvements, financial security shall remain posted in the amount of 15% of the total cost of the Improvements that are to be dedicated to the Township, if any.
10. All outstanding Township fees, including review and recording costs and fees, Township Engineering fees, and Township legal fees, and any other professional fees associated with the review and approval of the application and Plan shall be paid in full before the Plan is recorded, in accordance with the Pennsylvania Municipalities Planning Code.
11. Prior to recording the Plan, and in addition to the financial security posted for the Project, Applicant shall deposit with the Township or otherwise establish a reasonable sum of monies with the Township, in an amount to be reasonably

determined by the Township Engineer, as to be further described in the Land Development and Financial Security Agreement, for the reimbursement of the Township's reasonable engineering, inspection, legal, and related administrative costs and expenses related to the further reviews, inspections, and development of the Project, in accordance with the Pennsylvania Municipalities Planning Code.

12. A note shall be included on the final recorded Plan listing any waivers granted by the Board of Commissioners.
13. Except for the conditions and requirements placed upon the future development as specified in the Plan and herein, this Resolution shall not apply in any way to any future construction or land development on any lot or the consolidated lot. Upon any applicable construction or commencement of development on the consolidated lot, the Applicant will obtain any other necessary Township approvals, relief, and/or permits, and pay all applicable fees, unless additional relief is obtained.
14. The terms and conditions of this Resolution shall run with the land and shall apply to any assignee, transferee, or other successor in interest in the Property or the development of the Project. This Resolution or a memorandum of this Resolution may be recorded against the Property by the Township, or a subdivided portion of the Property, at the Township's sole discretion, to which the then-current landowner of the Property shall be deemed to have consented to such recording. Regardless of whether this Resolution is recorded, the Township shall have the right to enforce any violations of the conditions of this Resolution as a violation of the Township's Subdivision of Land Chapter and/or pursuant to Section 616.1 of the Pennsylvania Municipalities Planning Code.

B. Waivers. The Applicant has requested the following waivers from the Township's Subdivision of Land Chapter pursuant to a written waiver request. An indication that a waiver was granted reflects that the Township has determined that the Applicant has sufficiently established that the literal enforcement of the provision waived will exact undue hardship because of peculiar conditions pertaining to the land in question, and that the waiver is not contrary to the public interest or otherwise contrary to the purpose and intent of the Township Code, as demonstrated and explained by appearances of the Applicant before the Board at public meetings and through the waiver request letter(s) submitted. A lack of indication of the decision on the waiver after the Township has executed this Resolution shall be interpreted to mean that the waiver was granted, unless the minutes of the associated Township meeting reflect otherwise:

1. From Section 160-3.B to request a waiver to submit a preliminary plan simultaneously with a final plan. The waiver is hereby:

Granted _____ Denied _____

2. From Section 160-4.E(5)[e](3) to not provide the required plan details within 200 feet of the site. The waiver is hereby:

Granted _____ Denied _____

3. From Section 160-4.E(5)[e](4) to not provide the required plan details within 400 feet of the site. The waiver is hereby:

Granted _____ Denied _____

4. From §160-4.E(5)[e](4) regarding the requirement to indicate all storm drainage, sanitary sewer and public water supply lines of facilities within 400 feet of the site.

Granted _____ Denied _____

5. From Section 160-5.B.(4)[a] to not install curbing along streets. The waiver is hereby:

Granted* _____ Denied _____

This Resolution shall bind the Applicant, and the Applicant's successors and assigns. This Resolution does not and shall not authorize any construction of improvements or buildings exceeding those shown on the Plan. Furthermore, this Resolution, and the approvals/waiver and conditions contained herein, shall be rescinded automatically and deemed denied upon Applicant's failure to accept, in writing, all conditions herein imposed within ten (10) days of receipt of this Resolution, such acceptance to be evidenced by the Applicant's signature below. The Applicant understands that accepting the Plan conditions and failing to appeal any conditions, as drafted, within thirty (30) days of the approval date set forth below shall serve as a waiver of any such right to appeal and an acceptance of all conditions that, where applicable, shall bind future owners of the Property. The Applicant agrees that the interpretation of any conditions in this Resolution, if later challenged, shall be interpreted in favor of the Township.

Resolved and Approved this 14th day of April, 2025.

Township of Haverford

By: Judy Trombetta
President

Attest: David R. Burman
Township Manager/Secretary

ACCEPTANCE OF CONDITIONS:

APPLICANT and LANDOWNER

I, _____, being the authorized representative for the Applicant and Landowner, Haverford Township School District, do hereby acknowledge and accept the approval for the Plan issued by the Haverford Township Board of Commissioners and accept the conditions of approval contained therein, including the conditions impacting the Property. By signing this Resolution, the Applicant/Landowner is signifying acceptance of the conditions of approval contained herein and the conditions established for the Property.

APPLICANT and LANDOWNER: Haverford Township School District

By: _____

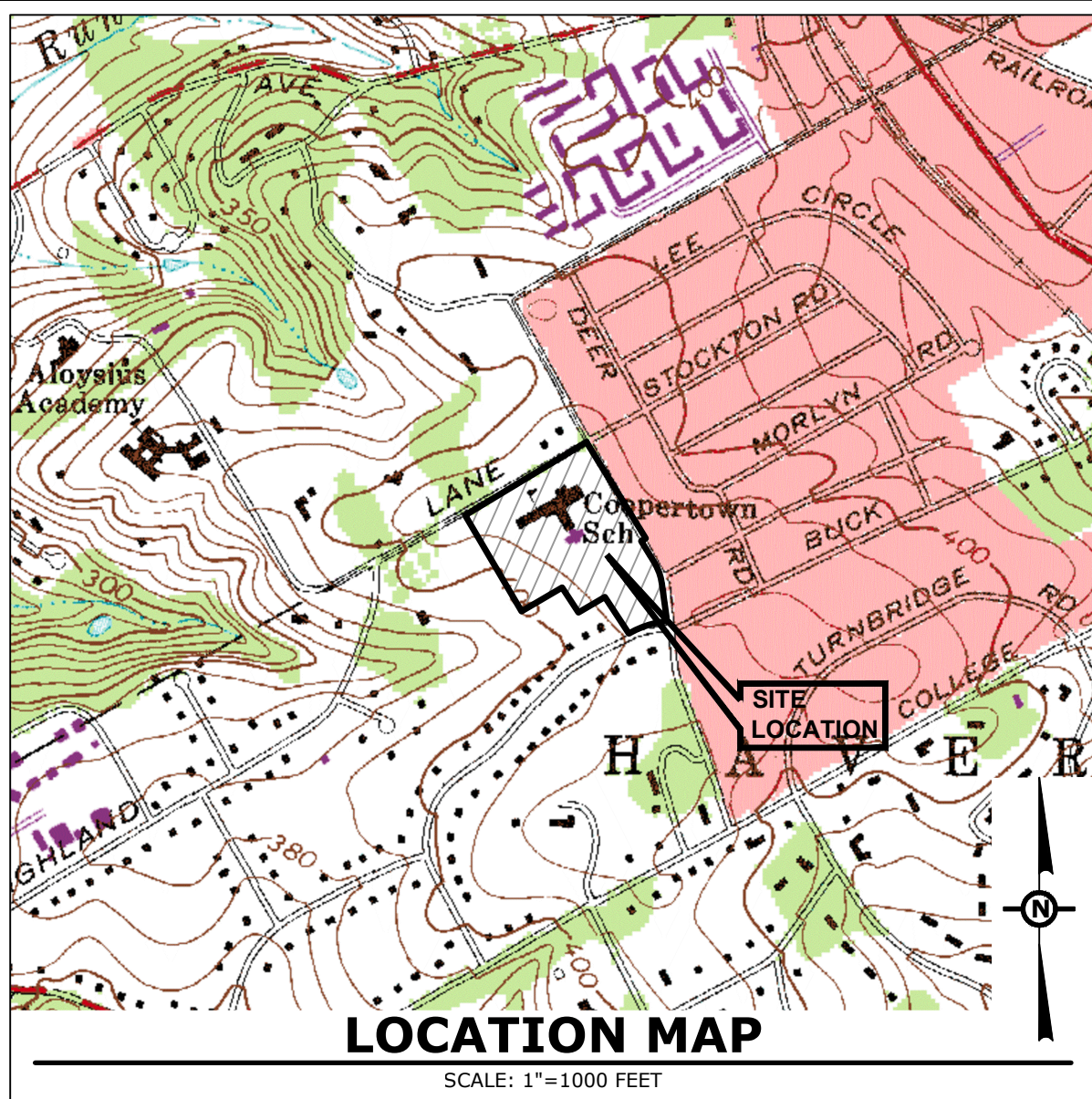
Print: _____

Date: _____

WITNESS:

Name: _____

Date: _____



LANDOWNER / APPLICANT

Haverford Township School District
400 Allston Road
Havertown, PA 19083

Telephone: 610.853.5900 X.7204
Contact: Maureen Reusche, Ed., Superintendent

SITE ENGINEER / PLAN PREPARER

Kurowski & Wilson, LLC
2201 North Front Street, Suite 200
Harrisburg, PA 17110

Telephone: 717.635.2835
Contact: Carolyn E. Dubois, R.L.A.

SITE SURVEYOR

Kurowski & Wilson, LLC
2201 North Front Street, Suite 200
Harrisburg, PA 17110

Telephone: 717.635.2835
Contact: Dennis P. Burkhard, PLS

ACT 287 UTILITY INFORMATION

The Contractor shall comply with the provisions of Pennsylvania Underground Utility Line Protection (UULP) Law, PA Act 287 of 1974, as amended by Act 50 of 2017 for notification of utilities before excavation in contract area. The underground utilities location call number is 1-800-242-1776 (or 811).

PA ONE-CALL SERIAL NUMBER: 20242822735 (DESIGN TICKET)
PA ONE-CALL SERIAL NUMBER DATE: 10/08/2024

The following utility facility owners were notified by the PA ONE-CALL SYSTEM, INC.

AQUA PENNSYLVANIA
762 Lancaster Ave
Bryn Mawr, PA 19010
Contact: Thomas Waddy
EMAIL: twaddy@aquamerica.com
PHONE: 610-525-1400 EXT. 52105

PECO AN EXELON COMPANY C/O USIC
450 S Henderson Road Suite B
King of Prussia, PA 19406
Contact: Nikkia Simpkins
EMAIL: nikkiasimpkins@usicllc.com
PHONE: 484-681-5720

Haverford Township
1014 Darby Rd
Havertown, PA 19083
Contact: Dan Mariani
EMAIL: dmariani@havtwp.org
PHONE: 610-446-1000 EXT. 2262

Verizon Business Formerly MCI
7000 Weston Pkwy
Cary, NC 27513
Contact: Victor Wood
EMAIL: victor.s.wood@verizon.com
PHONE: 919-414-2782

Comcast
1250 Haddonfield-Berlin Rd
Cherry Hill, NJ 08034
Contact: Wyatt Parrish
EMAIL: wyatt_parrish@cable.comcast.com
PHONE: 484-368-4391

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

COOPERTOWN ELEMENTARY SCHOOL

ADDITION/RENOVATION

FOR

Haverford Township School District

Haverford Township, Delaware County, Pennsylvania

ZONING DATA

Zoning District: (IN) INSTITUTIONAL			
Proposed Use: PUBLIC EDUCATIONAL INSTITUTION (CONDITIONAL USE GRANTED)			
Requirement:	Required:	Existing:	Proposed:
Minimum Lot Area:	2 Acres	11,992 Acres	11,992 Acres
Minimum Lot Width:	150 Feet	781 Feet	781 Feet
Front Yard Setback:	100 Feet	114 Feet	114 Feet
Side Yard Setback:	50 Feet Each	110 Feet	110 Feet
Rear Yard Setback:	75 Feet	213 Feet	213 Feet
Maximum Building Height:	35 Feet or 3 Stories*	<35 Feet	<35 Feet
Max. Building Coverage:	20%	13.3%	16.3%
Max. Impervious Coverage:	40%	28.8 %	39.6%

* PROVIDED, HOWEVER, THAT THE HEIGHT OF A BUILDING MAY BE INCREASED TO A MAXIMUM HEIGHT OF 60 FEET OR FIVE STORIES BY PROVIDING TWO FEET OF ADDITIONAL FRONT, REAR AND SIDE YARD SETBACKS FOR EACH ONE ADDITIONAL FOOT OF HEIGHT OF THE BUILDING ABOVE 35 FEET.

SITE DATA

Tax Parcel:	22-05-006-000
Deed Ref. / Instrument #:	DEED BOOK 633, PAGE 578
Existing Lot Area:	11,992 ACRES
Proposed Sewage Disposal:	PUBLIC
Proposed Water Supply:	PUBLIC

PARKING DATA

Off-street parking regulations shall be as required by Section 182-707 of this chapter, except that no parking shall be allowed within 50 feet of an R-1, R-2 or R-3 Residential District or within 25 feet of an R-4-or-higher-density Residential District.

Parking Required:	182-707.B	Building or Uses Other Than Specified
		1 Space / 1,000 SF of Gross Floor Area
		84,265 Gross Floor Area / 1,000 = 85 Spaces Required
		Existing Spaces: 72
		Proposed Spaces: 13
		Total Provided: 85

WAIVER REQUESTS

The following waivers of the Haverford Township Subdivision and Land Development Ordinance are requested by the Applicant:

160-3.B - Preliminary Plan.
160-4.E.5.b - Zoning boundaries within 2000 feet of the site.
160-4.E.5.e.3 - Public improvements and property owner information within 200 feet of the site.
160-4.E.5.e.4 - Public utilities within 400 feet of the site.
160-5.B(4)(A) - Design criteria and requirements for curbs, sidewalks and streetlighting

ZONING VARIANCES

The following zoning variances are requested of the Haverford Township Zoning Board by the Applicant:

182-502.B.2.B - "Public or private educational institutions, including colleges, elementary and secondary schools and nursery schools, but not including business or trade schools, dance studios or similar facilities." Conditional use in the INS Institutional Zoning District

182-708.A.1 - "Off-street loading and unloading space(s) with proper and safe access from a street or alley shall be provided on each lot used for commercial or other purposes where it is deemed that such facilities are necessary to adequately serve any such use within the district. All such loading and unloading spaces shall be located at the rear of the building."

182-708.A.1.D - "No loading space shall be permitted within the required front yard setback from any street."

182-708.A.4 - "No truck shall be allowed to stand in a right-of-way or automobile parking area, including aisles, during any time in which any such area is used for parking or in any way block the flow of persons or vehicles."

SHEET INDEX

SHEET NUMBER	SHEET TITLE
C-001	COVER SHEET
C-002	PCSM SUPPORTING INFORMATION
C-003	E&S SUPPORTING INFORMATION
C-101	OVERALL EXISTING FEATURES PLAN
C-101.1	EXISTING FEATURES PLAN
C-102	DEMOLITION PLAN
C-103	OVERALL SITE PLAN
C-103.1	SITE PLAN
C-103.2	SITE PLAN
C-103.3	SITE DISTANCE PLAN
C-104	GRADING PLAN
C-104.1	GRADING PLAN
C-105	PCSM PLAN
C-105.1	PCSM PLAN
C-106	UTILITY PLAN
C-107	LANDSCAPE PLAN
C-300	STORMWATER PROFILES
C-301	STORMWATER PROFILES
C-302	STORMWATER PROFILES
C-501	DETAILS
C-502	DETAILS
C-601	PCSM DETAILS
C-602	PCSM DETAILS
C-701	OVERALL E&S PLAN
C-701.1	E&S PLAN
C-701.2	E&S PLAN
C-702	E&S DETAILS
C-703	E&S DETAILS
C-801	OFFSITE DRAINAGE PLAN

WETLANDS CERTIFICATION

I, BRADLY GOCHNAUER DATE _____

HEREBY CERTIFY THAT THERE ARE NO WETLANDS IN THE AREA OF PROPOSED DEVELOPMENT ON THE SUBJECT PROPERTY. THE PROPOSED PROJECT WILL NOT IMPACT OFF-SITE WETLANDS, AND WETLAND FILL PERMITS ARE NOT REQUIRED FROM THE STATE OR FEDERAL GOVERNMENT.

CERTIFICATE OF ACCURACY (PLAN)

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE LAND DEVELOPMENT PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT.

_____, 20____

_____, 20____

J. MARC KUROWSKI, P.E

CERTIFICATE OF ACCURACY (SURVEY)

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE BOUNDARY SURVEY SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT.

_____, 20____

_____, 20____

DENNIS P. BURKHARD, P.L.S.

STORMWATER CERTIFICATION OF ACCURACY

I, _____, HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF Haverford Township's STORMWATER MANAGEMENT ORDINANCE.

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF DELAWARE

ON THIS THE _____ DAY OF _____, 20____ BEFORE ME THE
UNDERSIGNED PERSONALLY APPEARED.

OWNER(S) _____

OWNER(S) _____

WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSE AND SAY THAT THEY ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN AND THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW. WITNESS MY HAND AND NOTORIAL SEAL THE DAY AND THE DATE ABOVE WRITTEN

NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____

IT IS HEREBY CERTIFIED THAT THE UNDERSIGNED ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAT AND THAT ALL STREETS OR PARTS THEREOF, IF NOT PREVIOUSLY DEDICATED, ARE HEREBY TENDERED FOR DEDICATION TO PUBLIC USE.

OWNER(S) _____

OWNER(S) _____

TOWNSHIP ENGINEER

THIS PLAN REVIEWED BY THE HAVERFORD TOWNSHIP ENGINEER THIS _____ DAY OF _____, 20____

TOWNSHIP ENGINEER _____

TOWNSHIP BOARD OF COMMISSIONERS

THIS PLAN APPROVED BY THE HAVERFORD TOWNSHIP BOARD OF COMMISSIONERS, AND ALL CONDITIONS IMPOSED WITH RESPECT TO SUCH APPROVAL WERE COMPLETED ON THIS _____ DAY OF _____, 20____

PRESIDENT _____ SECRETARY _____

TOWNSHIP PLANNING COMMISSION

THIS PLAN RECOMMENDED FOR APPROVAL BY THE HAVERFORD TOWNSHIP PLANNING COMMISSION THIS _____ DAY OF _____, 20____

CHAIRMAN _____

SECRETARY _____

OWNER STORMWATER STATEMENT

I _____ (OWNER) ACKNOWLEDGE THAT THE STORMWATER BMP'S SHOWN WITHIN THESE PLANS ARE PERMANENT FIXTURES THAT CANNOT BE ALTERED OR REMOVED WITHOUT PRIOR APPROVAL BY HAVERFORD TOWNSHIP.

DELAWARE COUNTY PLANNING COMMISSION

THIS PLAN REVIEWED BY THE DELAWARE COUNTY PLANNING COMMISSION

THIS _____ DAY OF _____, 20____

CHAIRMAN _____

SECRETARY _____

GENERAL NOTES

- THE PURPOSE OF THIS PLAN IS THE CONSTRUCTION THREE BUILDING ADDITIONS, AND ASSOCIATED SITE IMPROVEMENTS ON THE SUBJECT PROPERTY.
- THE EXISTING SITE FEATURES, TOPOGRAPHY AND PROPERTY BOUNDARY LINES SHOWN HEREON ARE OBTAINED FROM A DRAWING OF SURVEY INFORMATION PRODUCED BY KUROWSKI & WILSON, LLC.
- PUBLIC WATER TO BE PROVIDED BY AQUA PENNSYLVANIA.
- PUBLIC SEWER TO BE PROVIDED BY HAVERFORD TOWNSHIP.
- THE SITE DEVELOPMENT WILL COMPLY WITH ALL APPLICABLE TOWNSHIP ORDINANCES IN EFFECT AT THE TIME OF THIS LAND DEVELOPMENT PLAN SUBMISSION.
- STREET CURB & SIDEWALKS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF HAVERFORD TOWNSHIP, AS APPLICABLE.
- ALL CONSTRUCTION SHALL CONFORM TO PENNDOT PUBLICATIONS 408 & 72 STANDARDS AND ALL APPLICABLE SUSQUEHANNA TOWNSHIP ORDINANCES.
- ALL SIGNS SHALL CONFORM TO PENNSYLVANIA DEPARTMENT OF TRANSPORTATION AND TOWNSHIP SPECIFICATIONS AND SHALL BE INSTALLED BY THE DEVELOPER IN A MANNER SPECIFIED BY THE MUNICIPAL ENGINEER. A SEPARATE PERMIT IS REQUIRED FOR ANY NEW SIGNS AND ALL NEW SIGNS MUST MEET TOWNSHIP REQUIREMENTS.
- ALL PERMANENT STORMWATER MANAGEMENT FACILITIES OUTSIDE OF THE PUBLIC RIGHT-OF-WAY SHALL BE OWNED, OPERATED, AND MAINTAINED BY THE PROPERTY OWNER. ALL PERMANENT STORMWATER MANAGEMENT FACILITIES WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE DEDICATED TO HAVERFORD TOWNSHIP OR PENNDOT.
- THERE ARE NO EXISTING COVENANTS FOR THE SUBJECT TRACT.
- THE DEVELOPER / CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A MINIMUM OF 48 HOURS NOTICE AND TO COORDINATE WITH THE TOWNSHIP / TOWNSHIP ENGINEER IN REGARDS TO ALL MUNICIPAL INSPECTION WORK REQUIRED ON THE PROJECT SITE.

RECORDER OF DEEDS

THIS PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS IN AND FOR DELAWARE COUNTY THIS _____ DAY OF _____, 20____

INSTRUMENT NUMBER _____

K&W

DESIGNING ENVIRONMENTS

2201 North Front Street, Suite 200
Harrisburg, PA 17110
P: 717.635.2835
www.kandwengineers.com

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

COOPERTOWN ELEMENTARY SCHOOL ADDITION/RENOVATION

FOR

HAVERFORD TOWNSHIP SCHOOL DISTRICT

HAVERFORD TOWNSHIP

DELAWARE COUNTY, PA

PROFESSIONAL SEAL

SCALE: _____ AS SHOWN

DATE: JANUARY 2, 2025

K&W PROJECT: 2003.089

DRAWN BY: PKS

CAD DRAWING: 2003089-A-M C/R 24x36.dwg

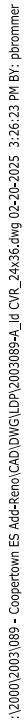
REVISIONS	NO.	DATE	DESCRIPTION
	1	02/21/2025	REVISED PER COMMENT LETTER
	2		
	3		
	4		
	5		
	6		
	7		

PLAN TYPE:

COVER SHEET

SHEET:

C-001



TELEPHONE: 610.853.5900 X 7204
CONTACT: MAUREEN REUSCHE, Ed,d., SUPERINTENDENT

KUROWSKI & WILSON, LLC
2201 NORTH FRONT STREET, SUITE 200
HARRISBURG, PA 17110

TELEPHONE: 717.635.2835
CONTACT: CAROLYN E. DUBOIS, R.L.A.

KUROWSKI & WILSON, LLC
2201 NORTH FRONT STREET, SUITE 200
HARRISBURG, PA 17110

TELEPHONE: 717.635.2835
CONTACT: DENNIS P. BURKHARD, PLS

THE SITE IS LOCATED IN THE DARBY CREEK AND COBBS CREEK WATERSHEDS APPROXIMATELY 0.2 MILES SOUTHEAST OF TRIBUTARY 00780 TO MEADOWBROOK RUN AND 0.4 MILES EAST OF TRIBUTARY 00779 TO MEADOWBROOK RUN, BOTH WHICH FLOWS INTO MEADOWBROOK RUN. ACCORDING TO 25 PA CODE CHAPTER 93, BOTH TRIBUTARIES AND MEADOWBROOK RUN IS DESIGNATED AS A COLD WATER FISHERY (CWF) AND MIGRATORY FISH (MF).

1. ALL BUILDING MATERIALS AND WASTE SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 101.11, 101.17, 101.17-1, 101.17-2, 101.17-3, 101.17-4, 101.17-5, 101.17-6, 101.17-7, 101.17-8, 101.17-9, 101.17-10, 101.17-11, 101.17-12, 101.17-13, 101.17-14, 101.17-15, 101.17-16, 101.17-17, 101.17-18, 101.17-19, 101.17-20, 101.17-21, 101.17-22, 101.17-23, 101.17-24, 101.17-25, 101.17-26, 101.17-27, 101.17-28, 101.17-29, 101.17-30, 101.17-31, 101.17-32, 101.17-33, 101.17-34, 101.17-35, 101.17-36, 101.17-37, 101.17-38, 101.17-39, 101.17-40, 101.17-41, 101.17-42, 101.17-43, 101.17-44, 101.17-45, 101.17-46, 101.17-47, 101.17-48, 101.17-49, 101.17-50, 101.17-51, 101.17-52, 101.17-53, 101.17-54, 101.17-55, 101.17-56, 101.17-57, 101.17-58, 101.17-59, 101.17-60, 101.17-61, 101.17-62, 101.17-63, 101.17-64, 101.17-65, 101.17-66, 101.17-67, 101.17-68, 101.17-69, 101.17-70, 101.17-71, 101.17-72, 101.17-73, 101.17-74, 101.17-75, 101.17-76, 101.17-77, 101.17-78, 101.17-79, 101.17-80, 101.17-81, 101.17-82, 101.17-83, 101.17-84, 101.17-85, 101.17-86, 101.17-87, 101.17-88, 101.17-89, 101.17-90, 101.17-91, 101.17-92, 101.17-93, 101.17-94, 101.17-95, 101.17-96, 101.17-97, 101.17-98, 101.17-99, 101.17-100, 101.17-101, 101.17-102, 101.17-103, 101.17-104, 101.17-105, 101.17-106, 101.17-107, 101.17-108, 101.17-109, 101.17-110, 101.17-111, 101.17-112, 101.17-113, 101.17-114, 101.17-115, 101.17-116, 101.17-117, 101.17-118, 101.17-119, 101.17-120, 101.17-121, 101.17-122, 101.17-123, 101.17-124, 101.17-125, 101.17-126, 101.17-127, 101.17-128, 101.17-129, 101.17-130, 101.17-131, 101.17-132, 101.17-133, 101.17-134, 101.17-135, 101.17-136, 101.17-137, 101.17-138, 101.17-139, 101.17-140, 101.17-141, 101.17-142, 101.17-143, 101.17-144, 101.17-145, 101.17-146, 101.17-147, 101.17-148, 101.17-149, 101.17-150, 101.17-151, 101.17-152, 101.17-153, 101.17-154, 101.17-155, 101.17-156, 101.17-157, 101.17-158, 101.17-159, 101.17-160, 101.17-161, 101.17-162, 101.17-163, 101.17-164, 101.17-165, 101.17-166, 101.17-167, 101.17-168, 101.17-169, 101.17-170, 101.17-171, 101.17-172, 101.17-173, 101.17-174, 101.17-175, 101.17-176, 101.17-177, 101.17-178, 101.17-179, 101.17-180, 101.17-181, 101.17-182, 101.17-183, 101.17-184, 101.17-185, 101.17-186, 101.17-187, 101.17-188, 101.17-189, 101.17-190, 101.17-191, 101.17-192, 101.17-193, 101.17-194, 101.17-195, 101.17-196, 101.17-197, 101.17-198, 101.17-199, 101.17-200, 101.17-201, 101.17-202, 101.17-203, 101.17-204, 101.17-205, 101.17-206, 101.17-207, 101.17-208, 101.17-209, 101.17-210, 101.17-211, 101.17-212, 101.17-213, 101.17-214, 101.17-215, 101.17-216, 101.17-217, 101.17-218, 101.17-219, 101.17-220, 101.17-221, 101.17-222, 101.17-223, 101.17-224, 101.17-225, 101.17-226, 101.17-227, 101.17-228, 101.17-229, 101.17-230, 101.17-231, 101.17-232, 101.17-233, 101.17-234, 101.17-235, 101.17-236, 101.17-237, 101.17-238, 101.17-239, 101.17-240, 101.17-241, 101.17-242, 101.17-243, 101.17-244, 101.17-245, 101.17-246, 101.17-247, 101.17-248, 101.17-249, 101.17-250, 101.17-251, 101.17-252, 101.17-253, 101.17-254, 101.17-255, 101.17-256, 101.17-257, 101.17-258, 101.17-259, 101.17-260, 101.17-261, 101.17-262, 101.17-263, 101.17-264, 101.17-265, 101.17-266, 101.17-267, 101.17-268, 101.17-269, 101.17-270, 101.17-271, 101.17-272, 101.17-273, 101.17-274, 101.17-275, 101.17-276, 101.17-277, 101.17-278, 101.17-279, 101.17-280, 101.17-281, 101.17-282, 101.17-283, 101.17-284, 101.17-285, 101.17-286, 101.17-287, 101.17-288, 101.17-289, 101.17-290, 101.17-291, 101.17-292, 101.17-293, 101.17-294, 101.17-295, 101.17-296, 101.17-297, 101.17-298, 101.17-299, 101.17-300, 101.17-301, 101.17-302, 101.17-303, 101.17-304, 101.17-305, 101.17-306, 101.17-307, 101.17-308, 101.17-309, 101.17-310, 101.17-311, 101.17-312, 101.17-313, 101.17-314, 101.17-315, 101.17-316, 101.17-317, 101.17-318, 101.17-319, 101.17-320, 101.17-321, 101.17-322, 101.17-323, 101.17-324, 101.17-325, 101.17-326, 101.17-327, 101.17-328, 101.17-329, 101.17-330, 101.17-331, 101.17-332, 101.17-333, 101.17-334, 101.17-335, 101.17-336, 101.17-337, 101.17-338, 101.17-339, 101.17-340, 101.17-341, 101.17-342, 101.17-343, 101.17-3

SHEET NUMBER	SHEET TITLE
C-002	PCSM SUPPORTING INFORMATION
C-101	OVERALL EXISTING FEATURES PLAN
C-101.1	EXISTING FEATURES PLAN
C-105	PCSM PLAN
C-105.1	PCSM PLAN
C-300	STORMWATER PROFILES
C-301	STORMWATER PROFILES
C-302	STORMWATER PROFILES
C-601	PCSM DETAILS
C-602	PCSM DETAILS
C-801	OFFSITE DRAINAGE PLAN

THE SITE CONTRACTOR AND SUBCONTRACTORS SHALL COMPLY WITH ALL REQUIREMENTS OF THE N.P.D.E.S. PERMIT FOR THE PROJECT SITE, INCLUDING OBTAINING STATUS AS A CO-PERMITTEE OF THE PERMIT. FOR INFORMATION REGARDING COMPLIANCE WITH THE N.P.D.E.S. PERMIT, CONTACT:

CHESTER COUNTY CONSERVATION DISTRICT
688 UNIONVILLE ROAD, SUITE 200
KENNETT SQUARE, PA 19348
610.455.1360 PHONE

1. THE PERMITTEE SHALL PROVIDE ENGINEERING CONSTRUCTION OVERSIGHT FOR THE PROPOSED STORMWATER BMPs. ADDITIONAL SOIL TESTING MAY BE REQUIRED PRIOR TO THE INSTALLATION OF STORMWATER BMPs. TO ENSURE PROPER LOCATION AND FUNCTION, A LICENSED PROFESSIONIST KNOWLEDGEABLE IN THE DESIGN AND CONSTRUCTION OF STORMWATER BMPs SHALL CONDUCT THE OVERSIGHT.
2. THE "POST CONSTRUCTION STORMWATER MANAGEMENT NARRATIVE AND CALCULATIONS" REPORT SHALL BE CONSIDERED PART OF THE PLANS.
3. A "NOTICE OF TERMINATION" (NOT) WILL BE REQUIRED TO BE SUBMITTED, PRIOR TO ACCEPTANCE OF THE PROJECT. CONSTRUCTION STAFF WILL PERFORM A FINAL INSPECTION TO ENSURE SITE STABILIZATION AND VERIFY ADEQUATE INSTALLATION AND FUNCTION OF STORMWATER BMPs.
4. COMPACTION OF FILL, ALL STRUCTURAL FILL TO BE PLACED IN 6" LIFTS AND COMPACTED TO NOT BE LESS THAN 95% OF MAXIMUM DRY DENSITY WITH A MOISTURE CONTENT WITHIN 2% OF THE OPTIMUM, APPLICABLE FOR BERMS, STREETS, ETC. UNLESS SPECIFIED OTHERWISE ON THE PLANS OR IN ANY SUPPLEMENTAL SPECIFICATIONS.
5. THE APPROVED PCSM PLAN SHALL BE ON FILE AT THE PROJECT SITE THROUGHOUT THE DURATION OF THE CONSTRUCTION ACTIVITY.
6. AREAS PROPOSED FOR INFILTRATION BMPs SHALL BE PROTECTED FROM SEDIMENTATION AND EROSION DURING THE CONSTRUCTION PHASE TO MAINTAIN MAXIMUM INFILTRATION CAPACITY.

1. ENVIRONMENTAL DUE DILIGENCE MUST BE PERFORMED TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS A COMPREHENSIVE REVIEW OF ALL AVAILABLE RECORDS, INCLUDING BUT NOT LIMITED TO: VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATABASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION RECORDS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OF ADJUTS, ANALYTICAL TESTING OF FILL MATERIALS, AND ANY OTHER INVESTIGATIVE DATA. IF THE FILL MATERIALS FROM THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, OR IF THE FILL MAY BE AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, ENVIRONMENTAL DUE DILIGENCE TESTING OF THE CLEAN FILL TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF CLEAN FILL".
2. ANY PLACEMENT OF CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL. ANY PLACEMENT OF CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST BE OBTAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL.

ON ALL DISTURBED AREAS WHICH DO NOT HAVE AN EROSION CONTROL BLANKET SPECIFIED FOR INSTALLATION, STRAW MULCH SHALL BE APPLIED AT THE RATE OF 3.0 TONS PER ACRE IMMEDIATELY AFTER SEEDING THE SURFACE. ON STEEP SLOPES OF 3:1 OR GREATER, MULCH SHALL BE ANCHORED THROUGH THE USE OF JUTE NETTING OR MIXING WITH ASPHALT AT THE RATE OF 100 GALLONS PER 3 TONS OF STRAW MULCH.

APPLY THE FOLLOWING SOIL SUPPLEMENTS PRIOR TO PERMANENT SEEDING IN ACCORDANCE WITH PENNDOT PUBLICATION 408, SECTION 804:

- A) PULVERIZED AGRICULTURAL LIMESTONE APPLIED AT A RATE OF 800 POUNDS PER 1,000 SQUARE YARDS.
- B) 10-20-20 ANALYSIS COMMERCIAL FERTILIZER APPLIED AT A RATE OF 140 POUNDS PER 1,000 SQUARE YARDS
- C) 38-0-0 UREAFORM SLOW-RELEASE NITROGEN FERTILIZER APPLIED AT A RATE OF 50 POUNDS PER 1,000 SQUARE YARDS.

TEMPORARY SEEDING SHALL CONSIST OF ANNUAL RYEGRASS (100% BY WEIGHT), OR EQUIVALENT, AND SHALL BE PLACED AT THE RATE OF 40 POUNDS PER ACRE; PURITY - 95%; GERMINATION - 85. TEMPORARY SEEDING SHALL BE APPLIED TO DISTURBED AREAS THAT ARE TO BE REDISTURBED LATER IN THE CONSTRUCTION PROCESS.

PERMANENT SEED MIXTURE
TURF TYPE TALL FESCUE SHALL BE APPLIED AT A RATE OF 21.0 POUNDS PER 1,000 SY. 80% MIN. GERMINATION; MIN. PURITY 98%.

1. CAVING OUT BANKS - CONTRACTOR SHOULD EMPLOY PROPER CONSTRUCTION, STABILIZATION, AND SAFE WORKING TECHNIQUES TO ENSURE SAFETY ON STEEP SLOPE AREAS AND WITHIN AND AROUND ALL EXCAVATIONS INCLUDING FOOTERS, FOUNDATIONS AND UTILITY TRENCHES. BENCHING AND TRENCH BOXES SHOULD BE EMPLOYED WHERE REQUIRED OR APPROPRIATE TO ENSURE SAFE WORKING CONDITIONS AND COMPLIANCE WITH APPLICABLE SAFETY STANDARDS AND REGULATIONS.
2. CORROSION TO CONCRETE/STEEL - WHERE PERMITTED, UNDERGROUND PIPES, CONDUITS, AND STORAGE TANKS SHOULD BE MADE CORROSION RESISTANT MATERIALS. WHEN NECESSARY, SUITABLE PRECAUTIONS SHOULD BE TAKEN TO PROTECT UNDERGROUND CONCRETE AND UNCOATED STEEL STRUCTURES AND FACILITIES FROM CORROSION.

1. THE PURPOSE OF THESE INSTRUCTIONS IS TO IDENTIFY THE OWNERSHIP AND MAINTENANCE ACTIVITIES ASSOCIATED WITH THE PROPOSED STRUCTURAL STORMWATER BMP. THE SUBJECT OF THESE INSTRUCTIONS IS NOT TO BE MISUNDERSTOOD AS IMPLYING THAT THE SUBJECT IS NOT OTHERWISE DESIGNED SUCH THAT THE INCREASE IN STORMWATER VOLUME SHALL BE ATTENUATED BY SCM 1.
2. A LICENSED PROFESSIONAL OR DESIGNER SHALL BE PRESENT TO OBSERVE THE ITEMS LISTED BELOW AS THEY TAKE PLACE DURING CRITICAL STAGES OUTLINED IN THE SEQUENCE OF CONSTRUCTION.
3. OVERLYING VEGETATION SHOULD BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS REVEGETATED.
4. ALL CATCH BASINS AND INLETS SHOULD BE INSPECTED AND CLEANED OUT.
5. VEHICULAR ACCESS TO AVOID BE PROHIBITED, AND CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWER. IF ACCESS IS NEEDED USE OF PERMEABLE TURF REINFORCEMENT SHOULD BE CONSIDERED.
6. VEHICULAR ACCESS SHOULD BE PROHIBITED AND CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWER. IF ACCESS IS NEEDED, USE OF PERMEABLE TURF REINFORCEMENT SHOULD BE CONSIDERED.

THE AFOREMENTIONED FACILITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

HAVERFORD TOWNSHIP SCHOOL DISTRICT

400 ALLSTON ROAD
HAVERTOWN, PA 19083

TELEPHONE: 610.853.5900 X 7204
CONTACT: MAUREEN REUSCHE, Ed,d., SUPERINTENDENT

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.

IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs) TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.

- [illegible]



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DELAWARE COUNTY, PA

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

COOPERTOWN ELEMENTARY SCHOOL ADDITION/RENOVATION

FOR

HAVERFORD TOWNSHIP SCHOOL DISTRICT

HAVERFORD TOWNSHIP

PROFESSIONAL SEAL

SCALE: AS SHOWN

DATE: JANUARY 2, 2025

K&W PROJECT: 2003.089

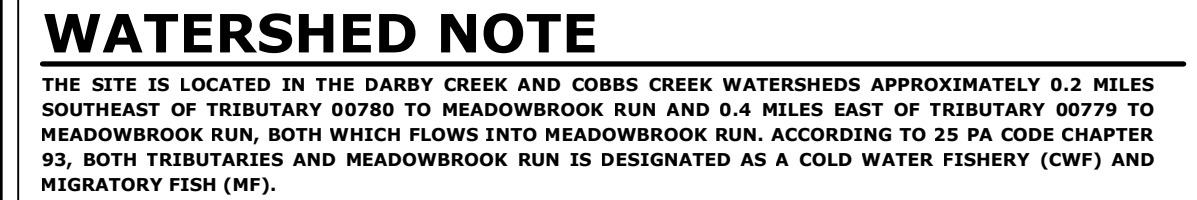
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REVISIONS		DESCRIPTION
NO.	DATE	REVISION
1	02/21/2025	REVISED PER COMMENT LETTER
2		
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PLAN TITLE:
PCSM
SUPPORTING
INFORMATION

SHEET:
C-002



1. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE CHAPTER 102, 771 Pa.C.S. 1201.1-1201.10. ALL WASTES, LIQUIDS OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
2. ANTICIPATED CONSTRUCTION WASTE MAY INCLUDE TYPICAL BUILDING MATERIALS (I.E. LUMBER, DIMENSIONAL LUMBER, INSULATION, INSULATION, ASPHALT, ROOFING, PLASTIC AND VINYL, PAINTS, STAINS, SOLVENTS AND SEALANTS, ETC.).
3. IT IS STRONGLY ENCOURAGED THAT SUCH RECOVERABLE WASTE MATERIALS BE SEPARATED AND APPROPRIATELY RECYCLED. NO POTENTIAL TOXIC OR HAZARDOUS WASTE IS KNOWN TO BE PRESENT ON THE SITE. TOXIC OR HAZARDOUS WASTE SHALL BE IDENTIFIED AND REMOVED IN ACCORDANCE WITH ALL APPLICABLE STATE OR FEDERAL REGULATIONS ASSOCIATED WITH THE DISPOSAL OF SUCH MATERIALS.

SHEET NUMBER	SHEET TITLE
C-003	E&S SUPPORTING INFORMATION
C-101	OVERALL EXISTING FEATURES PLAN
C-101.1	EXISTING FEATURES PLAN
C-701	OVERALL E&S PLAN
C-701.1	E&S PLAN
C-701.2	E&S PLAN
C-702	E&S DETAILS
C-703	E&S DETAILS

TURF TYPE TALL FESCUE SHALL BE APPLIED AT A RATE OF 21.0 POUNDS PER 1,000 SY. 80% MIN GERMINATION; MIN. PURITY 98%.

THE SITE IS LOCATED IN THE DARBY CREEK AND COBBS CREEK WATERSHEDS APPROXIMATELY 0.2 MILES SOUTHEAST OF TRIBUTARY 00780 TO MEADOWBROOK RUN AND 0.4 MILES EAST OF TRIBUTARY 00779 TO MEADOWBROOK RUN, BOTH WHICH FLOWS INTO MEADOWBROOK RUN. ACCORDING TO 25 PA CODE CHAPTER 93, BOTH TRIBUTARIES AND MEADOWBROOK RUN IS DESIGNATED AS A COLD WATER FISHERY (CWF) AND MIGRATORY FISH (MF).

1. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE CHAPTER 125, 771 Pa.C.S. 1201.1-1201.10. ALL SOLID WASTE, LIQUID WASTE OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
2. ANTICIPATED CONSTRUCTION WASTE MAY INCLUDE TYPICAL BUILDING MATERIALS (I.E. LUMBER, DIMENSIONAL LUMBER, INSULATION, INSULATION, ASPHALT, ROOFING, PLASTIC AND VINYL, PAINTS, STAINS, SOLVENTS AND SEALANTS, ETC.).
3. IT IS STRONGLY ENCOURAGED THAT SUCH RECOVERABLE WASTE MATERIALS BE SEPARATED AND APPROPRIATELY RECYCLED. NO POTENTIAL TOXIC OR HAZARDOUS WASTE IS KNOWN TO BE PRESENT ON THE SITE. TOXIC OR HAZARDOUS WASTE SHALL BE IDENTIFIED AND REMOVED IN ACCORDANCE WITH ALL APPLICABLE STATE OR FEDERAL REGULATIONS ASSOCIATED WITH THE DISPOSAL OF SUCH MATERIALS.

SHEET NUMBER	SHEET TITLE
C-003	E&S SUPPORTING INFORMATION
C-101	OVERALL EXISTING FEATURES PLAN
C-101.1	EXISTING FEATURES PLAN
C-701	OVERALL E&S PLAN
C-701.1	E&S PLAN
C-701.2	E&S PLAN
C-702	E&S DETAILS
C-703	E&S DETAILS

1. **CAVING CUT BANKS** - CONTRACTOR SHOULD EMPLOY PROPER CONSTRUCTION, STABILIZATION, AND SAFE WORKING TECHNIQUES TO ENSURE SAFETY ON STEEP SLOPE AREAS AND WITHIN AND AROUND ALL EXCAVATIONS INCLUDING FILLING OF EXCAVATIONS. PROPER EROSION CONTROL AND STABILIZATION TECHNIQUES SHOULD BE EMPLOYED WHEREVER REQUIRED OR APPROPRIATE TO ENSURE SAFE WORKING CONDITIONS AND COMPLIANCE WITH APPLICABLE SAFETY STANDARDS AND REGULATIONS.
2. **CORROSION TO CONCRETE/STEEL** - WHERE PERMITTED, UNDERGROUND PIPES, CONDUITS, AND STORAGE TANKS SHOULD BE MADE CORROSION RESISTANT. WHERE NECESSARY, SUITABLE PRECAUTIONS SHOULD BE TAKEN TO PROTECT UNDERGROUND CONCRETE AND UNCOATED STEEL STRUCTURES AND FACILITIES FROM CORROSION.
3. **EASILY ERODIBLE** - CONTRACTOR SHALL LIMIT THE EXTENT AND DURATION OF EROSION DISTURBANCE TO THE LEAST EXTENT POSSIBLE. TECHNIQUES TO PREVENT EROSION, CONTROL EROSION, AND STABILIZATION SHOULD BE EMPLOYED TO LIMIT THE TOTAL AMOUNT OF DISTURBED AREA AT ANY GIVEN TIME. TEMPORARY AND PERMANENT STABILIZATION MEASURES SHOULD BE IMPLEMENTED AS SOON AS POSSIBLE. SEDIMENT CONTROL BMPs MAY REQUIRE MORE FREQUENT MAINTENANCE AND SEDIMENT REMOVAL AS COMPARED WITH SITES THAT DO NOT HAVE EASILY ERODIBLE SOIL. CONTRACTOR SHALL CONTACT THE SITE DESIGN ENGINEER AND THE CONSERVATION DISTRICT TO DEVISE ALTERNATIVE SOLUTIONS IF ANY EROSION CONDITIONS OCCUR THAT CANNOT BE ADDRESSED BY MEASURES FOUND IN THE PLANS.
4. **DEPTH TO SATURATED ZONE / SEASONAL HIGH WATER TABLE** - STRUCTURES WITH BASEMENTS AND OTHER SUBSTRUCTURES SHALL BE CONSTRUCTED TO IMPROPER CONSTRUCTION PRACTICES SHALL BE FURNISHED WITH APPROPRIATE FOUNDATION DRAINS AND SUMP PUMPS WHERE NECESSARY. SATURATED SOILS SHOULD BE DETERMINED PRIOR TO USE IN GRADING, WEIR, MUCKY, OR SOOPY SOILS SHOULD NOT BE USED IN THE DRAINAGE OF STRUCTURE TO FILTRATION SLOPES. IF ACCUMULATED WATER NEEDS TO BE REMOVED FROM A WORK AREA, THE WATER SHOULD BE PUMPED TO A SEDIMENT CONTROL BMP, SUCH AS A SEDIMENT POND, SEDIMENT BASIN, OR PUMPED WATER FILTER BAG PLACED FOR DISCHARGE OVER A STABILIZED, WELL-VEGETATED AREA. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SURFACE DRAIN OR OTHER APPROVED METHOD.
5. **HYDRIC / HYDRIC INCLUSIONS** - HYDRIC SOILS OR SOILS WITH HYDRIC INCLUSIONS MAY BE INDICATIVE OF WETLANDS, HIGH GROUNDWATER TABLE, OR POORLY DRAINED SOILS. WETLANDS SHOULD BE IDENTIFIED AND AVOIDED IF POSSIBLE. DETERATING TECHNIQUES SHALL BE USED AS NEEDED.
6. **LOW STRENGTH/LANDSLIDE PRONE** - FOR SOILS WITH LOW STRENGTH, PRECAUTIONS SHOULD BE TAKEN TO AVOID FAILURE TO PROPER CONSTRUCTION PRACTICES SUCH AS OVER-STEERING AND OVERLOADING OF SLOPES, REMOVAL OF LATERAL SUPPORT, AND FAILURE TO PREVENT SATURATION OF SLOPES. SETBACKS SHOULD BE APPLIED IN ACCORDANCE WITH PADEP STANDARDS UNLESS IT CAN BE SHOWN THAT THERE ARE NO RISKS AND THERE IS NO HAZARD TO PUBLIC SAFETY OR SOILS. WATERWAYS, ADOPTS, AND MATERIAL WILL LIKELY NEED TO BE IMPORTED IN AREAS WHERE SOILS HAVE LOW STRENGTH. CONTRACTOR SHALL CONSULT PROJECT GEOLOGICAL ENGINEER/INSPECTOR FOR APPROPRIATE MEASURES TO BE IMPLEMENTED TO COMPACT, MITIGATE, AND/OR STABILIZE AREAS OF LOW STRENGTH OR LANDSLIDE PRONE SOILS.
7. **SLOW PERCOLATION** - CONTRACTOR SHALL PERFORM SITE GRADING TO PROVIDE SUFFICIENT POSITIVE DRAINAGE TO THE DESIRED DRAINAGE DIRECTION. WHERE NECESSARY, ACCORDANCE WITH THE STANDARD AND SPECIFICATION FROM A WORK AREA, THE WATER SHALL BE TO A SEDIMENT CONTROL BMP, SUCH AS A SEDIMENT POND, SEDIMENT BASIN, OR PUMPED WATER FILTER BAG PLACED FOR DISCHARGE OVER A STABILIZED, WELL-VEGETATED AREA.
8. **PIPING** - SOILS THAT ARE SUSCEPTIBLE TO PIPING CAN BE ERODIBLE AND NOT WELL SUITED FOR CONSTRUCTION OR PAVING. DIPS, DIPS, AND CONSTRUCTION TECHNIQUES SHALL BE EMPLOYED TO ENSURE THESE SOILS ARE PROPERLY COMPACTED AND STABILIZED.
9. **POOR SOURCE OF TOPSOIL** - MANY SOIL TYPES ARE DROUGHTY OR TOO WET TO BE SUITABLE SOURCES OF TOPSOIL. SOIL TESTS SHOULD BE DONE TO DETERMINE THE PROPER APPLICATION OF SOIL AMENDMENTS TO PROMOTE THE BEST POSSIBLE DESIRED DRAINAGE DIRECTION. WHERE NECESSARY, ACCORDANCE WITH THE STANDARD AND SPECIFICATION FROM A SITE, THEY SHOULD BE CAREFULLY PRESERVED AND STORED FOR LATER USE IN RESTORATION. IF NECESSARY, TOPSOIL MAY BE IMPORTED TO THE SITE.
10. **FROST ACTION** - CONTRACTOR SHALL CONSULT PROJECT GEOLOGICAL ENGINEER / INSPECTOR REGARDING ANY SPECIAL MEASURES TO BE TAKEN FOR EARTHWORK THAT IS TO OCCUR DURING PERIODS OF FROST.
11. **WETNESS** - EXCAVATIONS AND DRAINAGE DITCHES SHALL BE CONSTRUCTED TO AVOID ANY WET AREAS AT ALL TIMES. CONSTRUCTION TECHNIQUES TO ENSURE SAFETY ON STEEP SLOPES AND EROSION CONTROL SHOULD BE EMPLOYED.
12. **DEPTH OF ROCK** - IF BEDROCK IS ENCOUNTERED, REMOVE AS NECESSARY IN ACCORDANCE WITH PROJECT SPECIFICATIONS.
13. **SOIL PH LEVELS** - CONTRACTOR SHALL HAVE SOIL PH TESTED TO DETERMINE CORRECT FERTILIZER APPLICATION RATES.
14. **MOISTURE POTENTIAL** - ENSURE THAT THE SITE HAS PROPER DRAINAGE.
15. **USE GROUNDWATER LEVEL** - CONTRACTOR SHALL EMPLOY DEWATERING TECHNIQUES AS APPROVED BY THE CONSERVATION DISTRICT. PUMPED WATER FILTER BAGS SHALL BE USED TO DEWATER UTILITY TRENCHES AND BELOW GRADE EXCAVATIONS.
16. **BASIN AREAS AND EMBANKMENTS** - FILL FOR BASIN EMBANKMENTS SHALL BE COMPACTED IN 8" LIFTS TO 98% MAXIMUM DRY DENSITY (STANDARD PROCTOR) γ_d ≥ 2% MOISTURE CONTENT PER ASTM D-1557. ANTI-SLOP COLLARS SHALL BE INSTALLED TO PREVENT SLOP COLLAR COLLAPSE. CONTRACTOR SHALL CONSULT THE BASIN, CONSULT WITH SITE DESIGN ENGINEER FOR THE SPECIFIC ANTI-SLOP COLLAR SIZE REQUIREMENTS.

ALL EARTH DISTURBANCES INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE TO THE SATISFACTION OF THE LOCAL CONSERVATION DISTRICT AND THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (PA DEP) BY THE REVIEWING AGENCY. BEST AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.

2. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING AND THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL AGENCIES, AND THE LOCAL CONSERVATION DISTRICT TO A MEETING TO DISCUSS THE PROJECT AND THE OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSPM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT SHALL BE PRESENT AT THE MEETING.

3. AT LEAST 30 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.

4. EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN. ANY CHANGES TO THE SEQUENCE SHALL BE NOTIFIED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.

5. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION AND OTHER OBSTRUCTIONS.

6. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPs SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE HAVE BEEN INSTALLED AND ARE FUNCTIONING.

7. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.

8. EARTH DISTURBANCE ACTIVITIES SHALL PROCEED TO COMPLETION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAPS(S) IN THE AMOUNT NECESSARY TO VEGETATE THE FINISH GRADES OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN MAPS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V FLATTED.

9. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.

10. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THE PLAN, UNDER UNDISTURBED VEGETATED AREAS.

11. EARTH DISTURBANCE ACTIVITIES SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPs EACH HOUR RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, RESEEDING, AND MULCHING, MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPs FAIL TO PERFORM AS REQUIRED, REPLACEMENT BMPs SHALL BE INSTALLED IN THE AREAS INSTALLED WITH REQUIRED.

12. ALL SITE INSPECTIONS WILL BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THIS PURPOSE. THE COMPLIANCE ACTIONS AND THE DATE, TIME, AND NAME OF THE PERSON CONDUCTING THE INSPECTION MUST BE NOTED IN THE INSPECTION LOG. EACH INSPECTION LOG WILL ALWAYS BE KEPT ON THE SITE AND MADE AVAILABLE TO THE CONSERVATION DISTRICT UPON REQUEST.

13. A LOG SHOWING WORK THAT E&S BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCIES UPON REQUEST.

14. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE AT THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK, STORM SEWER, OR ANY OTHER ACTIVITY.

15. ALL SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.

16. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES – 6 TO 10 INCHES ON COMPACTED SOILS – PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTCROPPES SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL.

17. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INSTALLED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUCITS, ETC. SHALL BE COMPACTED TO MEET THE REQUIREMENTS OF THE LOCAL OR STATE AGENCY.

18. FROZEN MATERIAL, FILL SOFT, MOIST, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.

19. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.

20. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUTS SHALL BE STABILIZED AS SOON AS POSSIBLE. DURING NON-GERMINATION MONTHS, MULCH OR PROTECTIVE COVERING SHALL BE APPLIED TO ALL EXPOSED AREAS. EROSION AND SEDIMENT CONTROL SHALL BE MAINTAINED ON SURFACE WATER, OR AS OTHERWISE SPECIFIED ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.

21. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATION MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION REQUIREMENTS. THEREAFTER, THESE AREAS SHALL BE STABILIZED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.

22. E&S BMPs SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIANGULAR TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE REGIONAL OFFICE OF THE DEPARTMENT.

23. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPs. AREAS THAT ARE NOT TO BE REACTIVATED SHALL BE STABILIZED WITH PERMANENT EROSION AND SEDIMENT CONTROL BMPs TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS. SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.

24. FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE PROJECT, OR IN CONSTRUCTION OF ANY IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPs AS RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT OF ENVIRONMENT OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$25,000 IN CIVIL PENALTIES FOR EACH VIOLATION OF THE SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.

25. CONCRETE WASTE WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.

26. WHEN A PERMIT FOR CONSTRUCTION OF A PROJECT OR WHEN A PERMIT FOR EROSION OR SEDIMENT POLLUTION OR CO-MITTEE SHALL INCLUDE THE FOLLOWING INFORMATION,

26.1. THE LOCATION AND SEVERITY OF THE BMP'S FAILURE AND POLLUTION EVENTS.

26.2. ALL STEPS TAKEN TO REDUCE, ELIMINATE, AND PREVENT THE RECURRENT OF THE NON-COMPLIANCE.

26.3. THE ACTIONS TAKEN TO CORRECT THE NON-COMPLIANCE, INCLUDING THE EXACT DATE WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE.

26.4. SILT SOCK MUST BE INSTALLED PARALLEL TO EXISTING CONDUITS OR CONSTRUCTED LEVEL ALIGNMENTS. ENDS OF SLOPES MUST BE PROTECTED TO PREVENT EROSION.

26.5. STORM WATER INLETS MUST BE PROTECTED UNTIL THE TRIBUTARY CREEKS ARE STABILIZED.

26.6. UNLESS OTHERWISE NOTED, THE LIMITS OF GRADING SHALL BE CONSIDERED THE LIMITS OF DISTURBANCE.

26.7. ON ANY MEASURES CONTAINED WITHIN THIS PLAN PROVE INCAPABLE OF ADEQUATELY REMOVING SEDIMENT FROM ON-SITE FLOWS PRIOR TO DISCHARGE OR STABILIZING THE SURFACES INVOLVED, ADDITIONAL MEASURES SHALL BE INSTALLED TO PREVENT EROSION AND SEDIMENT POLLUTION.

26.8. SHOULD UNFORESEEN EROSION CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR SHALL ACT TO REMEDY SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF INCREASED EROSION. REMEDIATION SHALL BE DONE IMMEDIATELY. STOCKPILES OF WOOD CHIPS, CRUSHED STONE AND/OR MULCHES SHALL BE HELD IN READINESS TO DEAL IMMEDIATELY WITH EMERGENCY PROBLEMS OF EROSION.

26.9. THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF APPENDIX 6-4, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART I, DEPARTMENT OF ENVIRONMENTAL RESOURCES, SUB-PART C, EROSION CONTROL AND SEDIMENTATION ASSOCIATED WITH SITE RESTORATION WILL BE RESTORED TO EXISTING COVER CONDITION.

26.10. AREAS LABELED AS ROADWAY MAINTENANCE ACTIVITIES WILL CONSIST SOLELY OF MILLING AND OVERLAYING EXISTING SURFACES.

1. EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE. EACH STAGE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE AN ADDITIONAL STAGE OF ACTIVITIES BEGINS. EROSION AND TOPSOIL STRIPPING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.

2. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMMEDIATELY STOP ALL ACTIVITIES IN THE AFFECTED AREA AND NOTIFY THE ENGINEER OF THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.

3. **SCHEDULE SHALL INCLUDE REGULAR INSPECTION AND MAINTENANCE REQUIREMENTS FOR ALL AREAS OF EROSION AND SEDIMENT POLLUTION. THE SCHEDULE SHALL BE COMPLETED AT STAGES AS INDICATED HEREIN. CONTRACTOR SHALL NOTIFY ENGINEER 48 HOURS PRIOR TO CONSTRUCTION OF STAGES.**

4. AT LEAST SEVEN (7) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OWNER AND OPERATOR SHALL NOTIFY ALL AFFECTED MUNICIPAL OFFICIALS, THE LEADERSHIP OF THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PLAN PREPARER, AND A REPRESENTATIVE OF THE DELEWARE COUNTY CONSERVATION DISTRICT TO REVIEW THE PROPOSED EROSION AND SEDIMENT CONTROL PLAN.

5. AT LEAST THREE (3) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES TO PREVENT DAMAGE TO EXISTING UTILITIES.

6. CONTRACTOR SHALL CLEARLY MARK THE LIMIT OF DISTURBANCE AS SHOWN ON THE PLAN. ORANGE CONSTRUCTION FENCE OR WOODEN STAKES WITH FLAG TAPE ARE ADEQUATE FOR FIELD MARKING. ADDITIONALLY, CONTRACTOR SHALL CLEARLY MARK ALL WATERS OF THE COMMONWEALTH.

7. INSTALL ALL SEGMENTS OF COMPOST FILTER SOCK IN THE LOCATIONS SHOWN ON THE PLANS.

8. ROUGH GRADE THE ACCESS DRIVE OFF OF HIGHLAND LANE INTO THE SITE AND IMMEDIATELY CONSTRUCT THE TEMPORARY ROCK CONSTRUCTION ENTRANCE #1 AS SHOWN ON THE PLAN. ALL EROSION AND SEDIMENT TRACKED ONTO MACADAM ROADWAYS SHALL BE REMOVED BY THE CONTRACTOR AT THE END OF EACH WORKING DAY. WASHING OF THE ROADWAY IS NOT PERMITTED. THE APPROPRIATE AGENCY IS RESPONSIBLE FOR THE MAINTENANCE OF THE ROADWAY.

9. CLEAR AND GRUB THE PORTIONS OF THE SITE AND DEMO ITEMS SOUTH OF THE SCHOOL AND WEST OF THE HIGHLAND LANE DRIVEWAY. THE TEMPORARY AREA PROVIDED, SURROUND WITH COMPOST FILTER SOCK AND SEED PER TEMPORARY SEEDING SPECIFICATIONS, FERTILIZE AND MULCH. BEGIN BULK EXCAVATION OF THE SITE TO THE REQUIRED GRADES AS SHOWN ON THE PLANS. THE REMAINING PORTIONS OF THE SITE SHALL BE PROTECTED AND STABILIZED IN AN AREA THAT HAS AN APPROVED EROSION CONTROL PLAN. ENSURE SEDIMENT LADEN RUNOFF IS DIRECTED TO AN APPROPRIATE EROSION CONTROL BMP.

10. **CRITICAL STAGE: INSTALL UNDERGROUND INFILTRATION BASIN (SCM 1), EXISTING UNDERGROUND INFILTRATION BASIN (SCM 2), AND AGRICULTURAL SUBURBAN (SCM 3). EXCESSIVE CONSTRUCTION EQUIPMENT TRAFFIC PRIOR TO TEXTILE AND STONE BED PLACEMENT.**

8.1. **ALL CONSTRUCTION FENCING AROUND LOCATIONS OF SCM 1, AS SHOWN ON THE PLANS.**

8.2. **WHERE EROSION OF SUBGRADE HAS CAUSED ACCUMULATION OF FINE MATERIALS AND/OR SURFACE PONDING, THIS MATERIAL SHOULD BE REMOVED WITH LIGHT BACKHOE AND HIGHER GRADES. THE REMAINING PORTIONS OF THE SITE SHALL BE PROTECTED AND STABILIZED IN AN AREA THAT HAS AN APPROVED EROSION CONTROL PLAN. ENSURE SEDIMENT LADEN RUNOFF IS DIRECTED TO AN APPROPRIATE EROSION CONTROL BMP.**

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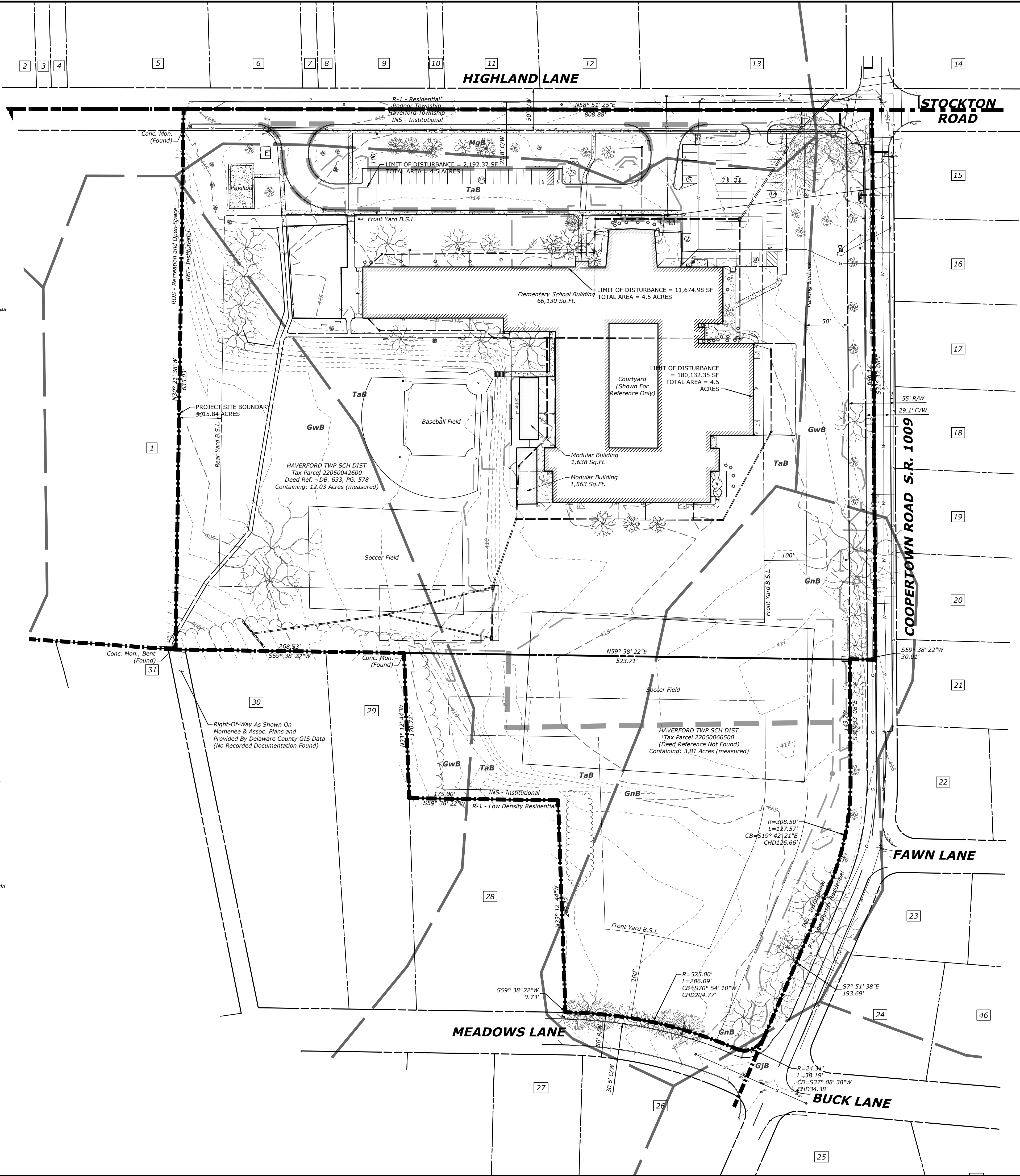
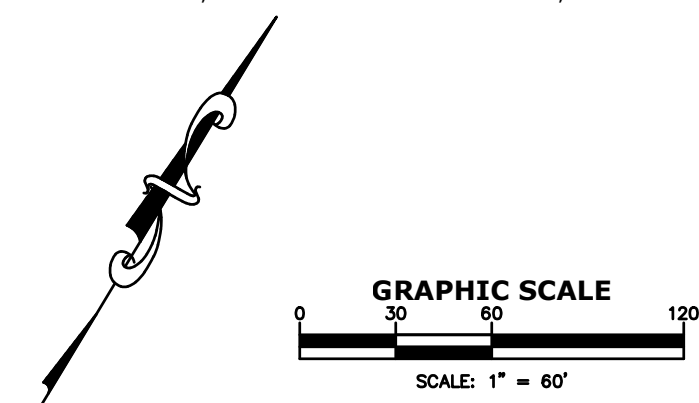
8.30. **WHERE EROSION OF SUBGRADE**

9-10000 (2003) 099 - Copeptown E5_A43-Blue/CAD/DW/CADPS/COV666-A_M CVR_24c35.dwg 02-20-2025 3:16:27 PM BY: pbenner

GjB	GLENELG CHANNERY LOAM, 3 TO 8 PERCENT SLOPES [HYDROLOGIC GROUP C]
GnB	GLENVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES [HYDROLOGIC GROUP D]
GwB	GLENELG-WHEATON COMPLEX, 0 TO 8 PERCENT SLOPES [HYDROLOGIC GROUP C]
MgB	MANOR LOAM, 3 TO 8 PERCENT SLOPES [HYDROLOGIC GROUP C]
TaB	TALLEYVILLE-DELANCO COMPLEX, 0 TO 8 PERCENT SLOPES [HYDROLOGIC GROUP D]

	EDGE OF PAVED BITUMINOUS SURFACE
	EDGE OF GRAVEL OR CRUSHED STONE SURFACE
	PROPERTY BOUNDARY LINE
	CONCRETE MONUMENT
	FENCE POST
	LEGAL RIGHT OF WAY LINE
	MINIMUM BUILDING SETBACK LINE
	INDEX CONTOUR LINE
	INTERMEDIATE CONTOUR LINE
	BUILDING
	CONCRETE SURFACE
	CURB
	UNDERGROUND ELECTRIC LINES
	UNDERGROUND TELECOM LINES
	MANHOLE
	UTILITY POLE
	GUY WIRE
	LIGHT STANDARD OR LAMPPOST
	BOLLARD
	ELECTRIC METER
	ELECTRIC BOX
	TELEPHONE BOX
	TRAFFIC MAST
	DOWNSPOUT
	DRAINAGE PIPE
	DRAINAGE INLET
	RIP-RAP
	UNDERGROUND NATURAL GAS LINE
	GAS VALVE
	GAS METER
	TREELINE
	WALL
	SANITARY SEWER GRAVITY LINE
	SANITARY SEWER CLEANOUT
	WATER LINE
	WATER VALVE
	FIRE HYDRANT
	WATER METER
	WATER SPIGOT
	FENCE
	GUIDERAIL
	MAILBOX
	SIGN
	MUNICIPAL BOUNDARY LINE

1. THIS SURVEY WAS PERFORMED AND MAPPING PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH.
2. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN ARE BASED ON A FIELD SURVEY PERFORMED BY K&W ENGINEERS AND CONSULTANTS, COMPLETED IN OCTOBER, 2024.
3. PROPERTY LINES SHOWN ARE BASED ON PROPERTY CORNER MARKERS AND OTHER EVIDENCE FOUND, CURRENT DEEDS OF RECORD, AND THE FOLLOWING PLANS:
 - LAND DEVELOPMENT PLANS TITLED "COOPERTOWN ELEMENTARY SCHOOL", PREPARED BY MONEEVE AND ASSOCIATES, DATED JULY 27, 1990, FILE NO. 90-60, NOT RECORDED.
 - LAND DEVELOPMENT PLANS TITLED "COOPERTOWN ELEMENTARY SCHOOL", PREPARED BY HOWELL LEWIS SHAY AND ASSOCIATES, DATED JUNE 4, 1956, COMM. NO. 1488, NOT RECORDED.
4. CONTOURS AND ELEVATIONS ARE BASED ON NATIONAL AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
5. BEARINGS ARE BASED ON PENNSYLVANIA STATE PLANE COORDINATES, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83).
6. RIGHT-OF-WAY LINES SHOWN FOR COOPERTOWN ROAD ARE BASED ON FIELD SURVEY LOCATIONS, AND INFORMATION PROVIDED BY PENNDOT DISTRICT 6-0 FOR L.R. 23036/S.R. 1009.
7. UTILITY LOCATIONS ARE BASED ON SURFACE EVIDENCE AND LIMITED PA ONE-CALL MARKINGS ENFORCE AT THE TIME OF THE FIELD SURVEY. PA ONE-CALL SERIAL NO. 20242882735 WAS ASSIGNED ON OCTOBER 8, 2024.
8. SOME UTILITIES AND UNDERGROUND PIPE LOCATIONS COULD NOT BE VERIFIED AND FURTHER INVESTIGATION IS REQUIRED. APPROXIMATE UTILITY PIPE LOCATIONS SHOWN ARE BASED ON THIS SUBJECTLY MENTIONED PLANS.
9. THE SUBJECT PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN THE 100-YEAR FLOODPLAIN AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) AND SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR HAVERFORD TOWNSHIP, COMMUNITY PANEL NO. 420417, FEMA FIRM NO. 42045C0039P, EFFECTIVE DATE NOVEMBER 18, 2009.



Outstanding Owners List

1. Township of Haverford
Highland Farm Parcel 34, Highland Lane
Tax Parcel 22-04-007-000
(No Deed Reference Found)

2. Matthew & Christina Bernier
340 Highland Lane
Tax Parcel 36-47-019-000
Deed Ref. 6836-4519

3. Craig Conway & Dr. Kristin Lisi
338 Highland Lane
Tax Parcel 36-47-004-005
Deed Ref. 2105-0222

4. Craig Conway & Dr. Kristin Lisi
338 Highland Lane
Tax Parcel 36-47-004-005
Deed Ref. 2105-0222

5. Craig Conway & Dr. Kristin Lisi
338 Highland Lane
Tax Parcel 36-47-004-005
Deed Ref. 2105-0222

6. Andrew G. & Annmarie C. Bunn
336 Highland Lane
Tax Parcel 36-47-018-000
Deed Ref. 1531-2245

7. Joseph J. Jr. & Linda C. Schanne
332 Highland Lane
Tax Parcel 36-47-008-000
Deed Ref. 1727-4471

8. Jilda Ann Stowe &
Edward Opczynski III
332 Highland Lane
Tax Parcel 36-47-009-000
Deed Ref. 6021-1999

9. Gregory G. & Christine M. McNichol
326 Highland Lane
Tax Parcel 36-47-017-000
Deed Ref. 2598-1987

10. Girish & Rita Patwardhan
318 Highland Lane
Tax Parcel 36-47-010-000
Deed Ref. 1027-2337

11. Joseph J. & Maria O. Schneider
314 Highland Lane
Tax Parcel 36-47-016-000
Deed Ref. 6773-3971

12. Erin McInnes &
Nathanial Jay Kohnberg
306 Highland Lane
Tax Parcel 36-47-015-000
Deed Ref. 6878-3574

13. Laura & Brett Tabano
302 Highland Lane
Tax Parcel 36-47-014-000
Deed Ref. 6881-3669

14. Donald Marie Tavakoli &
Staci Marie Rakowicz
904 Coopersdown Road
Tax Parcel 22-06-003-000
Deed Ref. 4739-453

15. Brian C. Kim & So Ra Choe
829 Coopersdown Road
Tax Parcel 22-06-342-000
Deed Ref. 6696-5747

16. Joseph P. & Melinda C. Daly
825 Coopersdown Road
Tax Parcel 22-06-343-000
Deed Ref. 1220-1648

17. William H. Lienthal, Jr.
821 Coopersdown Road
Tax Parcel 22-06-344-000
Deed Ref. 5941-1359

18. Christopher J. & Emily I. Royle
817 Coopersdown Road
Tax Parcel 22-06-345-000
Deed Ref. 4687-465

19. Harry R. Neilson III
813 Coopersdown Road
Tax Parcel 22-06-346-000
Deed Ref. 4946-250

20. Kathleen Love-Weltz &
Jonathan David Weltz
809 Coopersdown Road
Tax Parcel 22-06-347-000
Deed Ref. 6446-1376

21. John P. & Cynthia G. McGoldrick
809 Coopersdown Road
Tax Parcel 22-06-348-000
Deed Ref. 2206-999

22. Gregory R. Moran & Jamie L. Moser
2 Fawn Lane
Tax Parcel 22-06-349-000
Deed Ref. 5123-204

23. Hirdyves Bhatia
1 Fawn Lane
Tax Parcel 22-06-233-000
Deed Ref. 6881-5023

24. Matthew D. & Ramona E. Clayton
2 Buck Lane
Tax Parcel 22-06-236-000
Deed Ref. 2687-862

25. Frederick W. & Catherine W. Plascie
1 Buck Lane
Tax Parcel 22-06-293-000
Deed Ref. 6762-247

26. Lu Fan Cai & Elizabeth Iwamaye
69 Meadows Lane
Tax Parcel 22-06-338-000
Deed Ref. 6579-274

27. Brian Carroll
65 Meadows Lane
Tax Parcel 22-06-337-000
Deed Ref. 4425-696

28. Brian G. & Deena J. Oneill
58 Meadows Lane
Tax Parcel 22-06-340-000
Deed Ref. 617-818

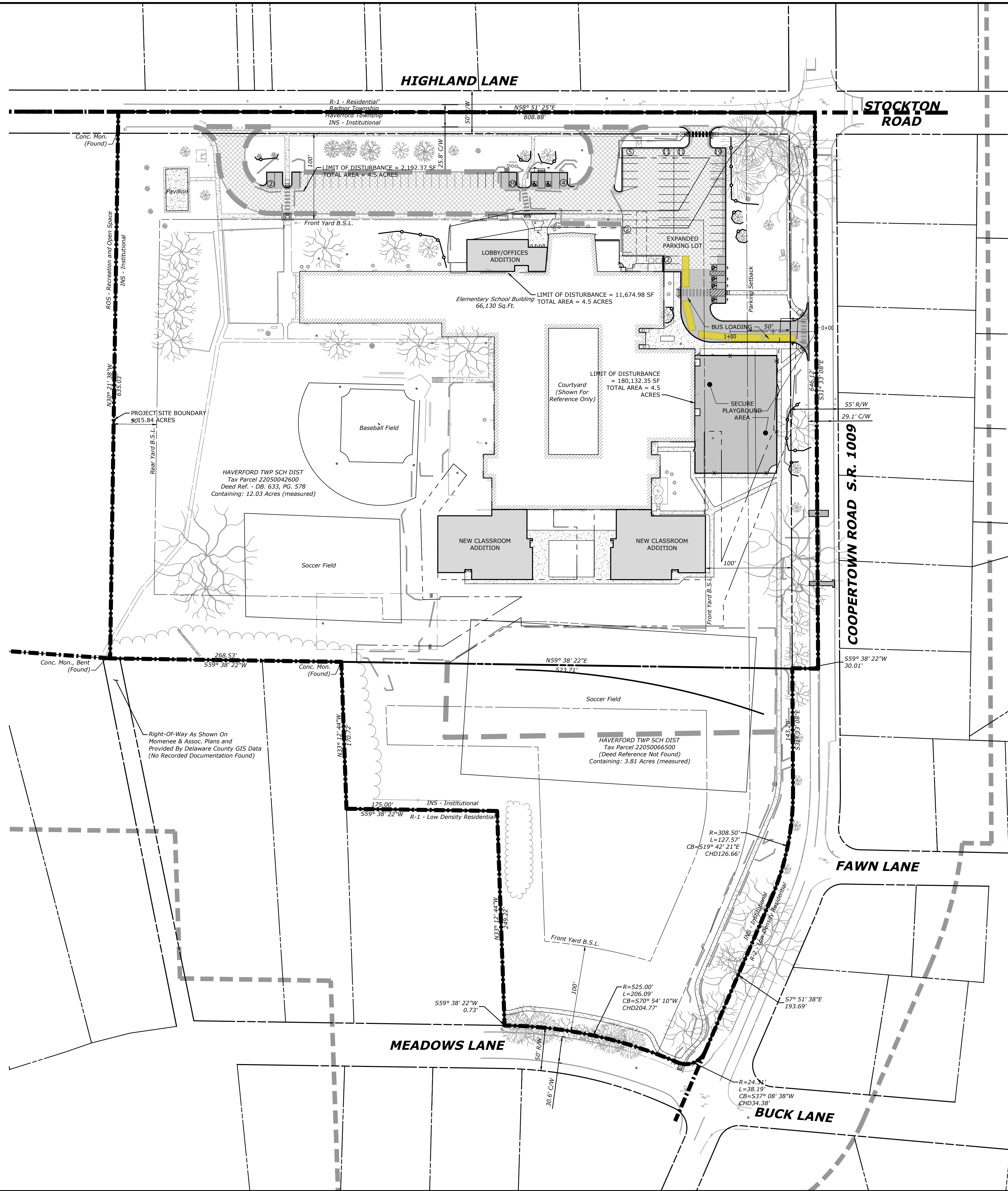
29. Michael F. & Agnes E. Guerin
Thea Lane
Tax Parcel 22-05-071-001
(No Reference Found)

30. Gordon Y. Chang & Cindy S. Ng
50 Meadows Lane
Tax Parcel 22-05-017-000
Deed Ref. 1311-2143

31. Theodore O. Haas, Et Ux
46 Meadows Lane
Tax Parcel 22-05-016-000
(No Reference Found)

DOI: 10.1006/j.viro.1998.0079 • CrossRef • PubMed • Full Text • Comments





LEGEND

PROPOSED SITE FEATURES

BUILDING

CENTER LINE

CONCRETE SURFACE

CURB

EDGE OF BITUMINOUS PAVEMENT

STANDARD DUTY PAVEMENT

MILL & OVERLAY

EASEMENT LINE

WALL

BOLLARD

FENCE

47

PARKING SPACE COUNT

A

STOP SIGN

B

PENNDOT DESIGNATION R1-1

C

HANDICAP PARKING SIGN

D

VAN ACCESSIBLE HANDICAP PARKING SIGN

E

NO PARKING SIGN

F

DO NOT ENTER SIGN

ONE-WAY SIGN

PENNDOT DESIGNATION R6-2L

- SITE PLAN NOTES**
1. REFER TO ARCHITECTURAL PLANS FOR CONCRETE PADS OUTSIDE OF EXTERIOR DOORWAYS.

2. ALL RADII ARE 5 FEET, UNLESS SPECIFICALLY DIMENSIONED OTHERWISE WITHIN THE PLAN VIEW. THIS INCLUDES CURB RADII, RADII ON PROPOSED EDGES OF BITUMINOUS PAVEMENT, AND RADII INDICATED FOR PAVEMENT MARKINGS.

3. N.I.C. = NOT IN CONTRACT

4. SIGNS AND PAVEMENT MARKINGS SHALL COMPLY WITH PENNDOT PUBLICATION 408, SECTION 1103, AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AS AMENDED.

5. MAXIMUM SIDEWALK CROSS SLOPE = 2%.

6. ALL REMAINING BITUMINOUS PAVEMENT NOT IDENTIFIED TO BE REPLACED SHALL BE SEAL COATED. REPLACE ALL PAVEMENT MARKINGS IN KIND.

K&W

DESIGNING ENVIRONMENTS

2201 North Front Street, Suite 200

Harrisburg, PA 17110

P: 717.635.2835

www.kandwengineers.com

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

COOPERTOWN ELEMENTARY SCHOOL ADDITION/RENOVATION

FOR

HAVERFORD TOWNSHIP SCHOOL DISTRICT

HAVERFORD TOWNSHIP

DELAWARE COUNTY, PA

PROFESSIONAL SEAL

SCALE: AS SHOWN

DATE: JANUARY 2, 2025

K&W PROJECT: 2003.089

DRAWN BY: PKS

CAD DRAWING: 2003089-D-16 SITE.dwg

REVISIONS

NO.	DATE	DESCRIPTION
1	02/21/2025	REVISED PER COMMENT LETTER
2		
3		
4		
5		
6		
7		

PLAN TYPE:

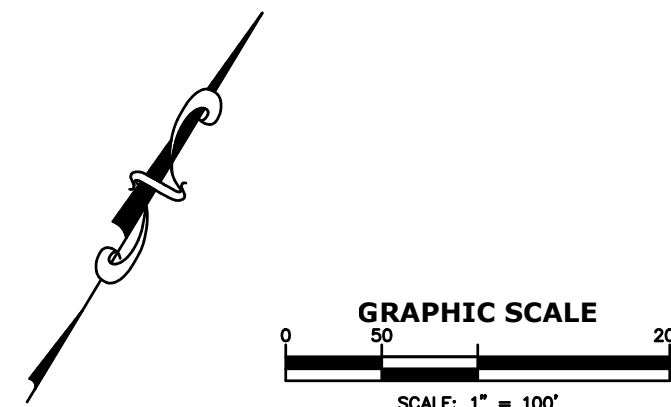
OVERALL SITE PLAN

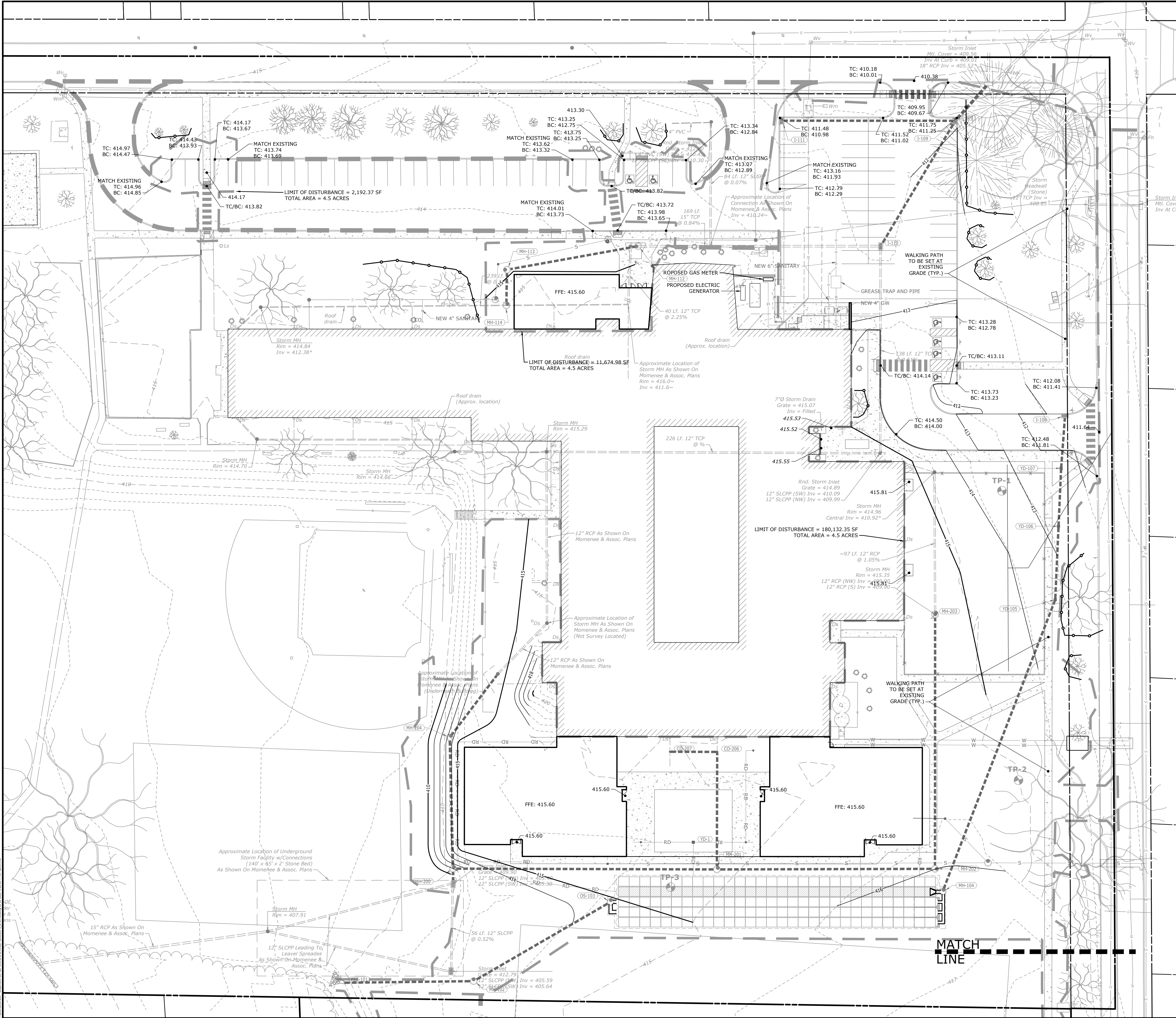
SHEET:

C-103

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LEGEND

PROPOSED GRADING FEATURES

421 ——— INTERMEDIATE CONTOUR LINES

420 ——— INDEX CONTOUR LINES

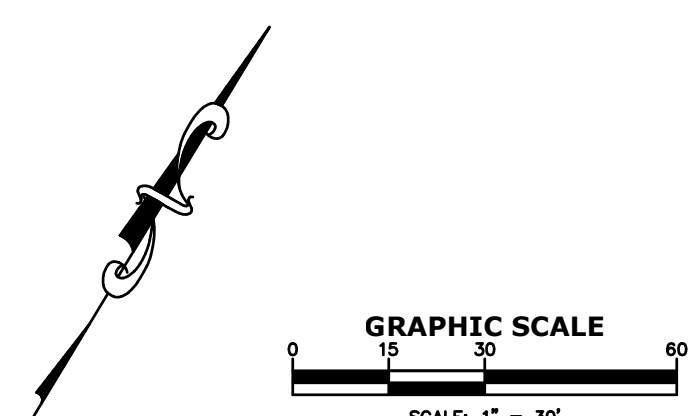
• 422.53 SPOT ELEVATIONS

2.00% SLOPE OR GRADE LABEL

⊙ TEST PIT

TC BC SPOT LABEL ABBREVIATIONS:
TOP OF CURB
BOTTOM OF CURB

- GRADING NOTES**
1. FINISHED GRADE ALONG THE EXTERIOR FACE OF THE BUILDING SHALL BE 415.60 UNLESS OTHERWISE NOTED.
 2. POSITIVE DRAINAGE SHALL BE PROVIDED ACROSS THE ENTIRE PROJECT AREA AND DIRECTED TOWARDS EXISTING AND PROPOSED DRAINAGE FACILITIES.



PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

COOPERTOWN ELEMENTARY SCHOOL ADDITION/RENOVATION

FOR

HAVERFORD TOWNSHIP SCHOOL DISTRICT

HAVERFORD TOWNSHIP

DELAWARE COUNTY, PA

PROFESSIONAL SEAL

SCALE: AS SHOWN

DATE: JANUARY 2, 2025

K&W PROJECT: 2003.089

DRAWN BY: PKS

CAD DRAWING: 2003089-E-16 GRADE.dwg

NO.	DATE	DESCRIPTION	REVISIONS						
			NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION	
1	02/21/2025	REVISED PER COMMENT LETTER							
2									
3									
4									
5									
6									
7									

PLAN TYPE: **GRADING PLAN**

SHEET: **C-104**



LEGEND

PROPOSED PCSM CONTROL PLAN FEATURES

NPDES PERMIT BOUNDARY

LIMIT OF DISTURBANCE

DP-001

BMP DISCHARGE POINT

POI-1

WATERSHED POINT OF INTEREST

TP-1

TEST PIT LOCATION

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

COOPERTOWN ELEMENTARY SCHOOL ADDITION/RENOVATION

FOR

HAVERTOWN TOWNSHIP SCHOOL DISTRICT

DELAWARE COUNTY, PA

PROFESSIONAL SEAL

SCALE: AS SHOWN

DATE: JANUARY 2, 2025

K&W PROJECT: 2003.089

DRAWN BY: PK5

CAD DRAWING: 2003089-1 to PCSM.dwg

REVISIONS

NO.	DATE	DESCRIPTION
1	02/21/2025	REVISED PER COMMENT LETTER
2		
3		
4		
5		
6		
7		

PLAN TYPE:

PCSM PLAN

SHEET:

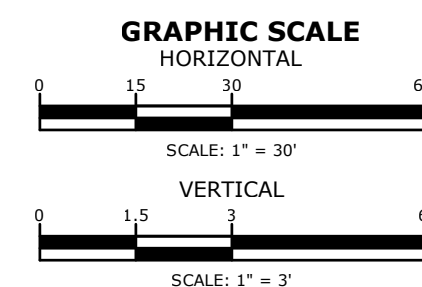
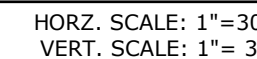
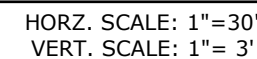
C-105.1

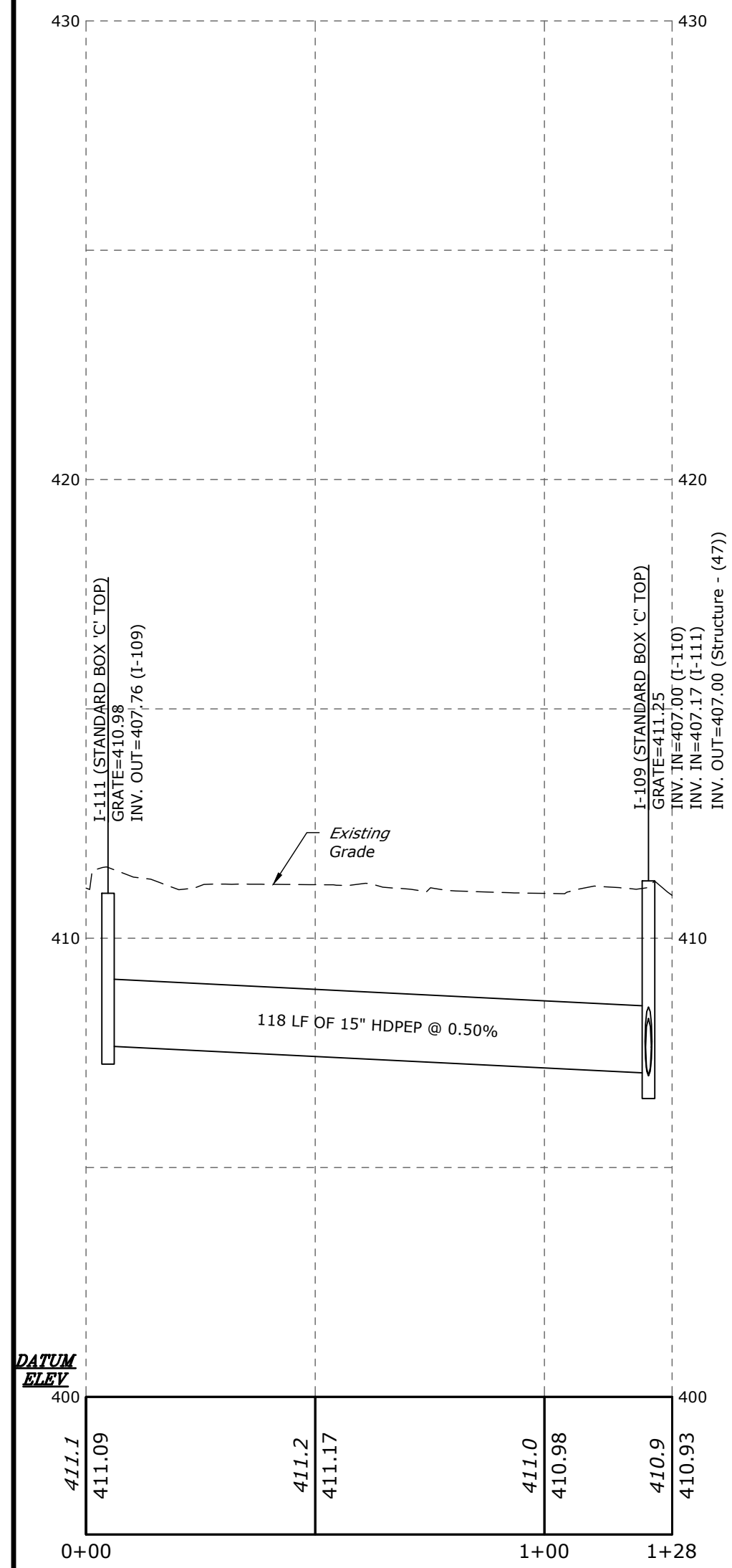
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SCALE:	AS SHOWN
DATE:	JANUARY 2, 2003
K&W PROJECT:	2003.01
DRAWN BY:	FRANK
CAD DRAWING: 2003089-H Id PROF.dwg	

PLAN TYPE:
**STORMWATER
PROFILES**

SHEET:

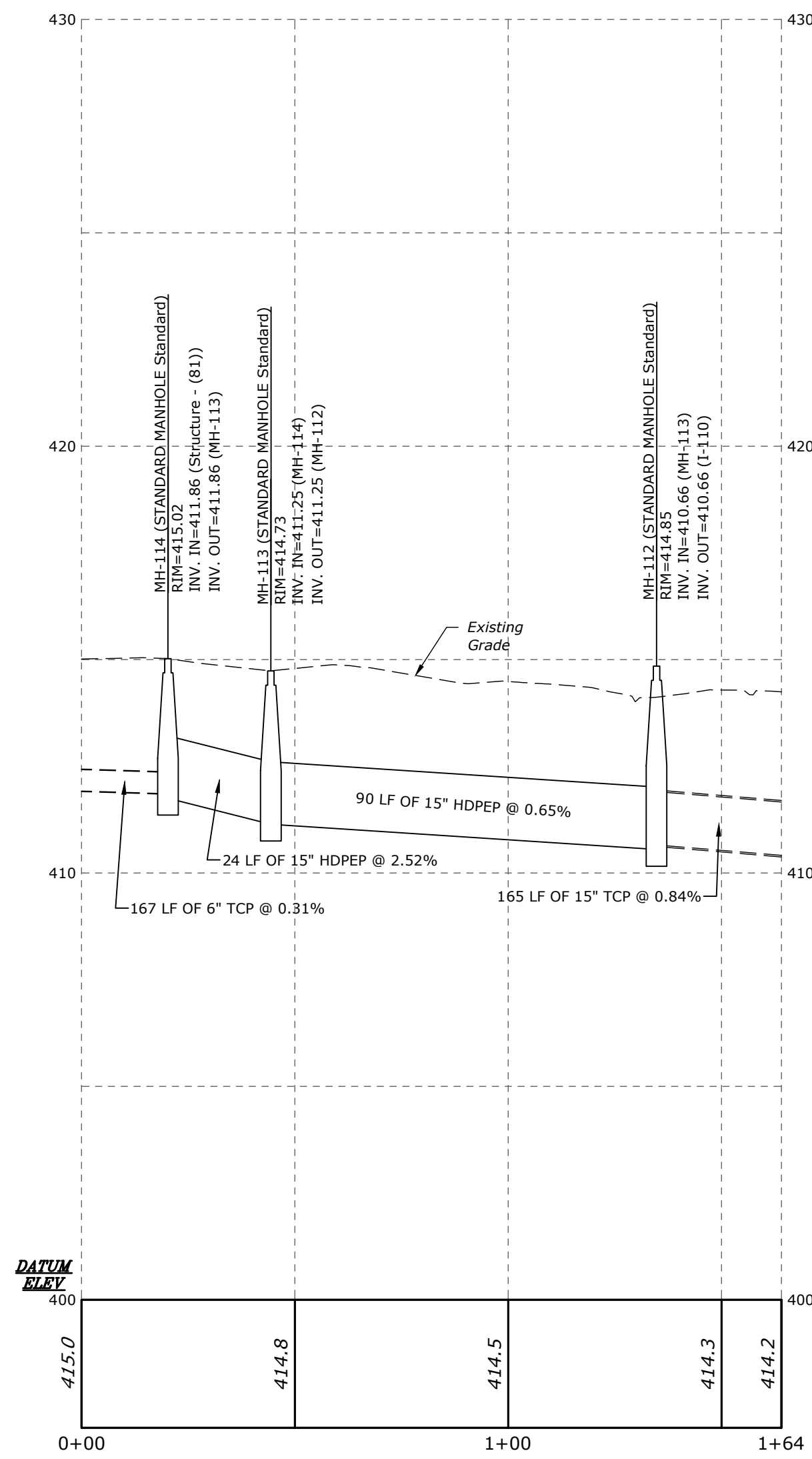
C-300





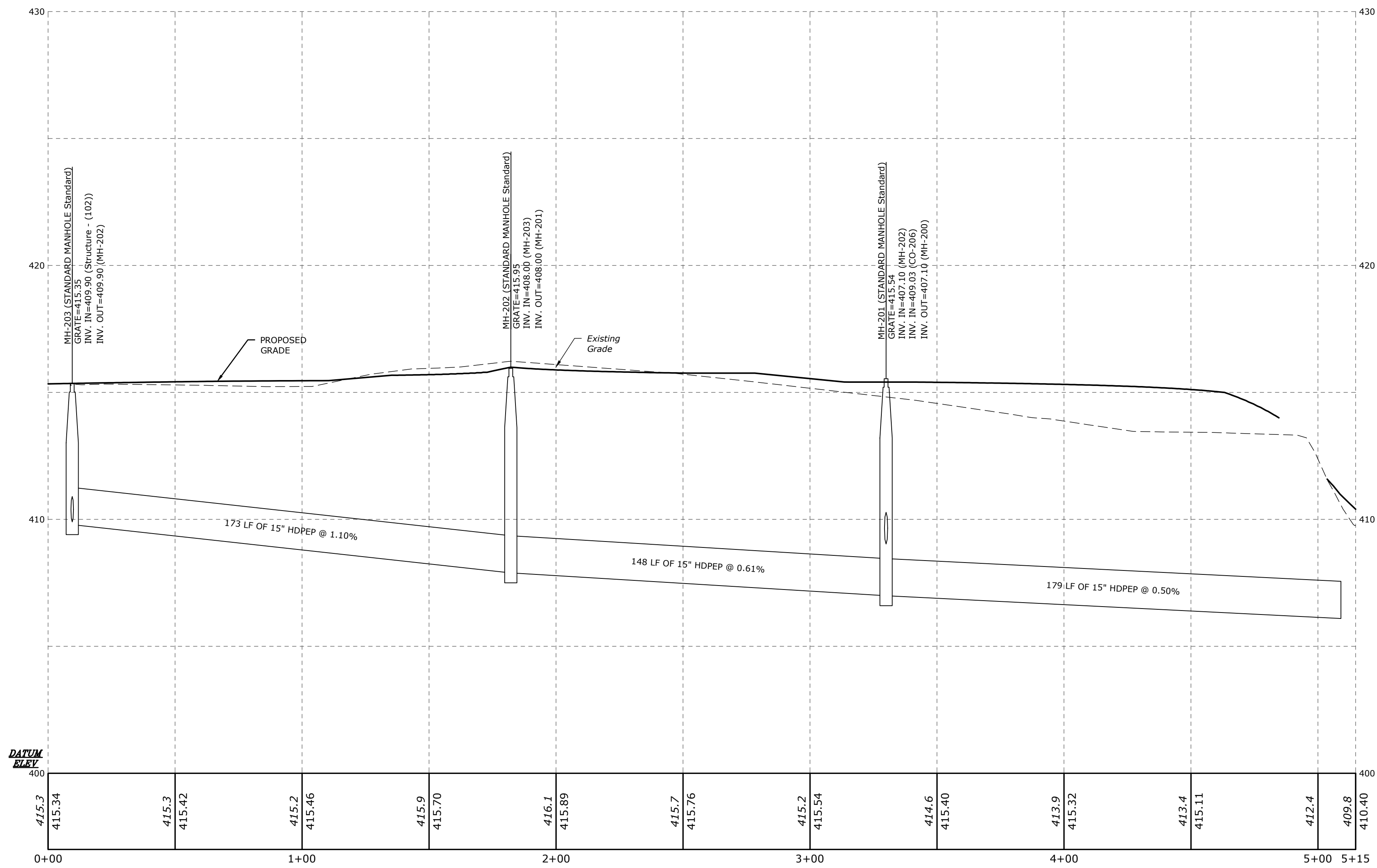
I-111 TO I-109

HORZ. SCALE: 1"=30'
VERT. SCALE: 1"= 3'



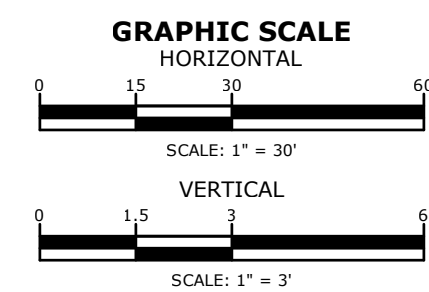
MH-114 TO MH-112

HORZ. SCALE: 1"=30'
VERT. SCALE: 1"= 3'



MH-203 TO MH-200

HORZ. SCALE: 1"=30'
VERT. SCALE: 1"= 3'



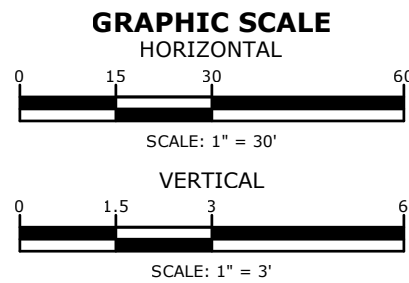
PROFESSIONAL SEAL	
SCALE:	AS SHOWN
DATE:	JANUARY 2, 2025
K&W PROJECT:	2003.089
DRAWN BY:	PKS
CAD DRAWING: 2003089-H_Id PROF.dwg	

REVISIONS		
NO.	DATE	DESCRIPTION
1	02/21/2025	REVISED PER COMMENT LETTER
2		
3		
4		
5		
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PLAN TYPE:
**STORMWATER
PROFILES**

SHEET:

C-301



PROFESSIONAL SEAL	
SCALE:	AS SHOWN
DATE:	JANUARY 2, 2025
K&W PROJECT:	2003.089
DRAWN BY:	PKS
CAD DRAWING: 2003089-H_Id PROF.dwg	

REVIEWS		
NO.	DATE	DESCRIPTION
1	02/21/2025	REVISED PER COMMENT LETTER
2		
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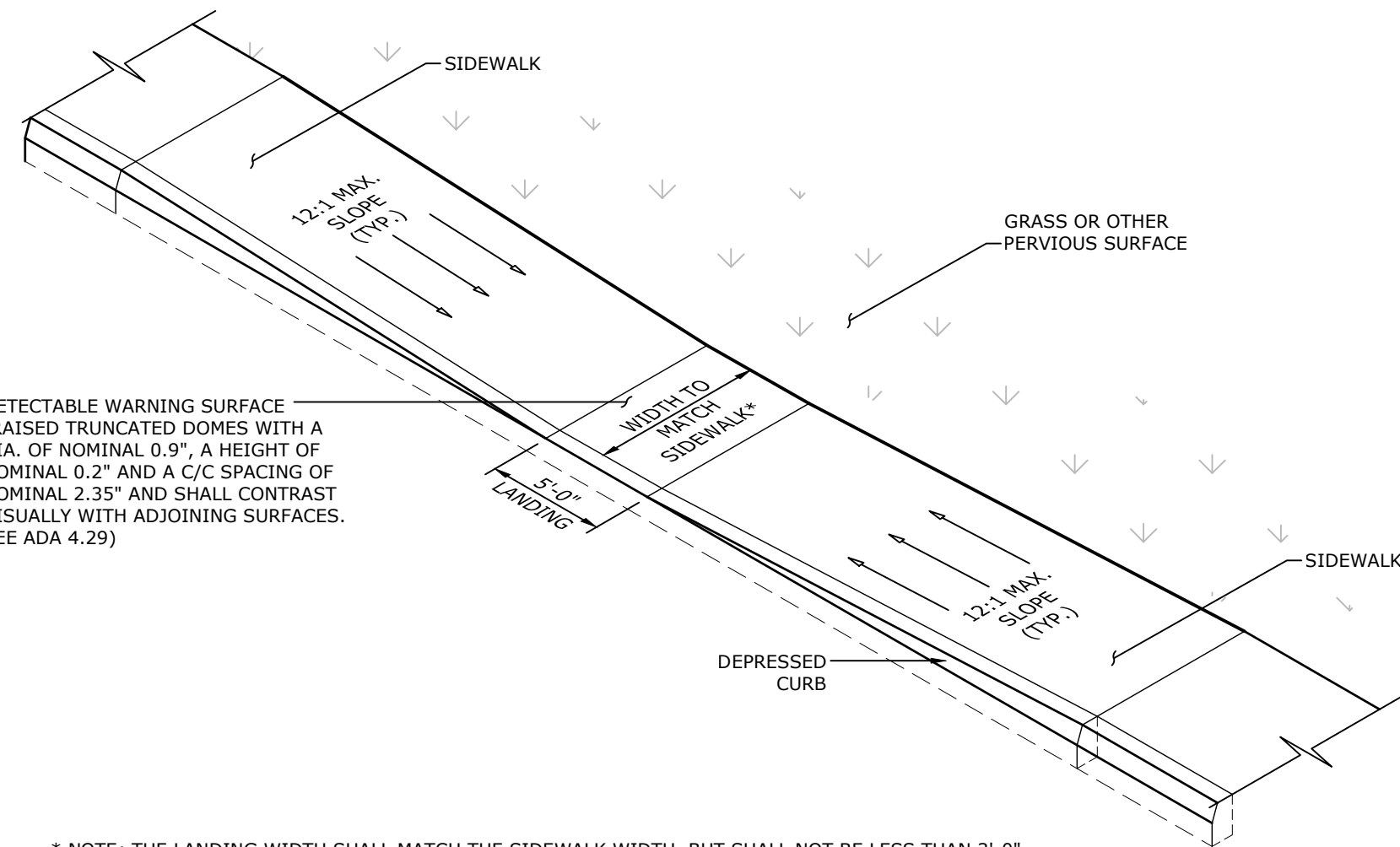
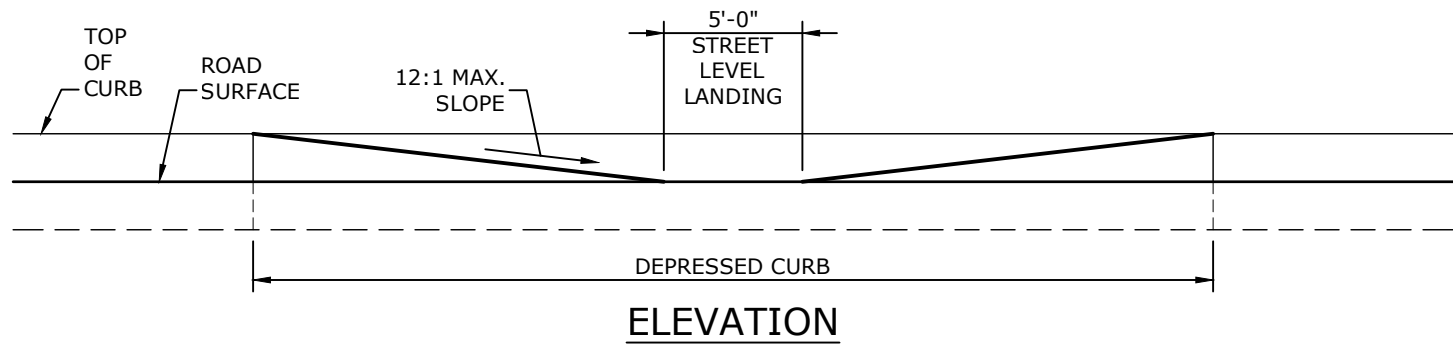
PLAN TYPE:
**STORMWATER
PROFILES**

SHEET:
C-302

REVISIONS	NO.	DATE	DESCRIPTION	REVISED PER COMMENT LETTER
	1	02/21/2025		
	2			
	3			
	4			
	5			
	6			
	7			

PLAN TYPE:
DETAILS

SHEET:
C-501

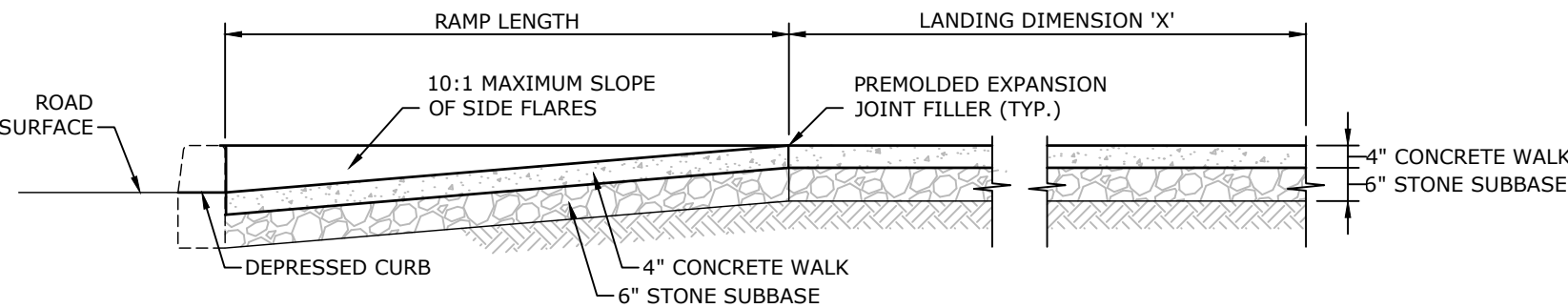


* NOTE: THE LANDING WIDTH SHALL MATCH THE SIDEWALK WIDTH, BUT SHALL NOT BE LESS THAN 3'-0".

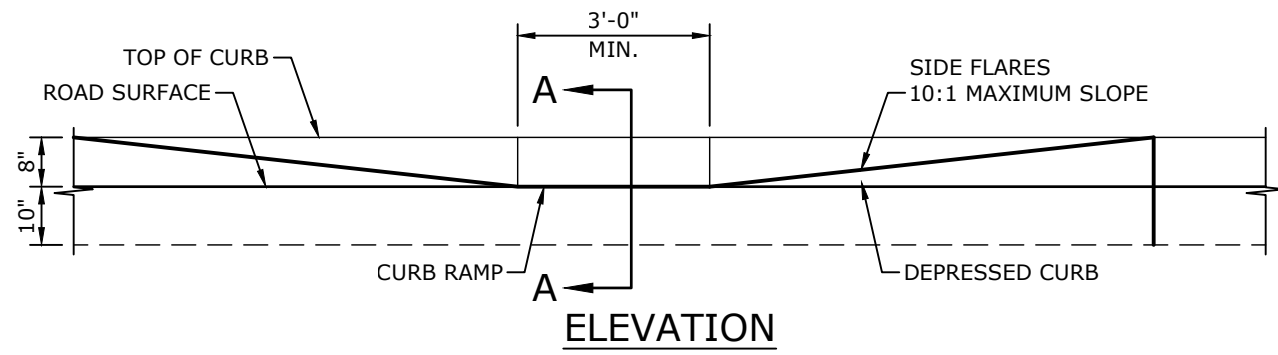
ISOMETRIC

TYPE 2 CURB RAMP

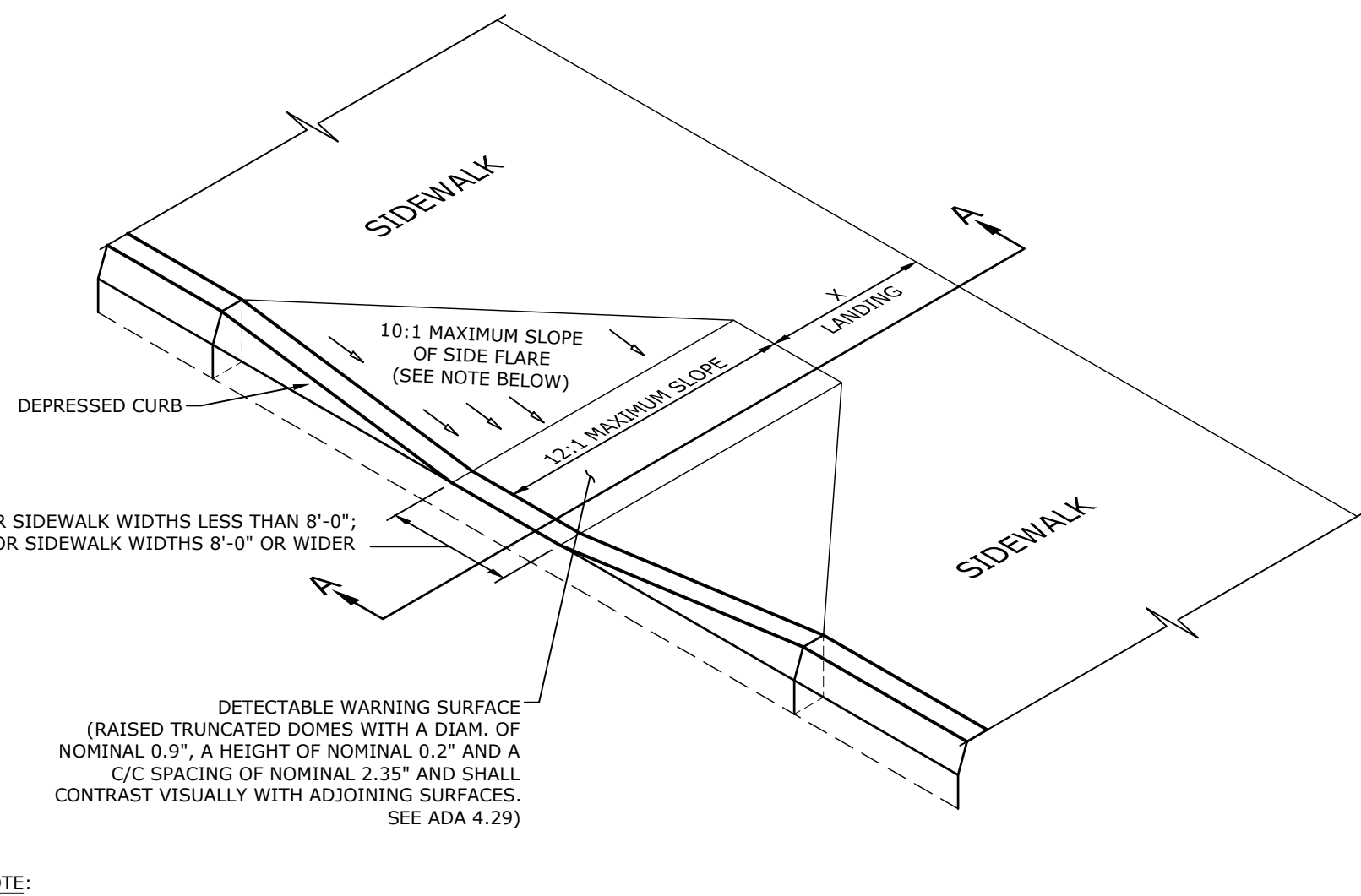
NOT TO SCALE



SECTION A-A



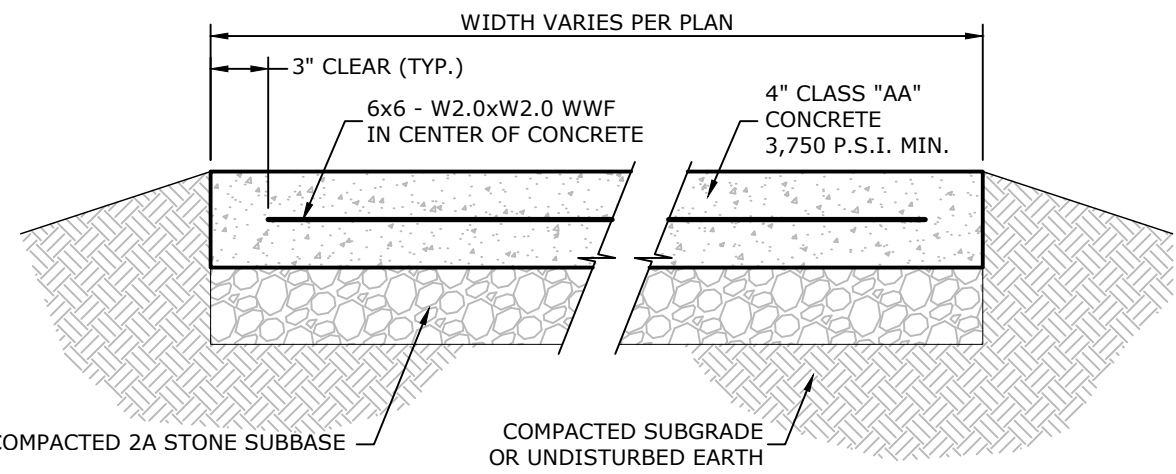
ELEVATION



NOTE: DIMENSION 'X' SHALL BE EQUAL TO OR GREATER THAN 3'-0". IF DIMENSION 'X' IS LESS THAN 4'-0", THEN THE SLOPE OF THE FLARED SIDES SHALL NOT EXCEED 12:1.

TYPE 1 CURB RAMP

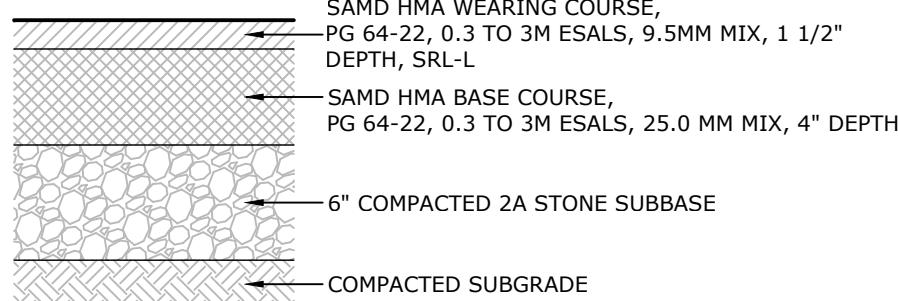
NOT TO SCALE



- NOTES:
- SPACE CONTROL JOINTS AT A 5'. PLACE EXPANSION JOINTS AT 20' MAXIMUM, STRUCTURE FACE, AND MATCH EXISTING IF APPLICABLE AND AS PER AMERICAN CONCRETE INSTITUTE STANDARDS.
 - FIBER REINFORCEMENT MAY BE UTILIZED IN PLACE OF WWF.

CONCRETE SIDEWALK

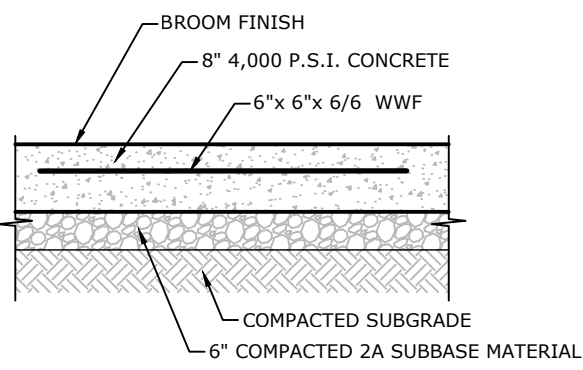
NOT TO SCALE



- NOTE:
- ALL PAVING MATERIALS AND INSTALLATION MATERIALS SHALL CONFORM TO PENNDOT PUBLICATION 408, AS AMENDED.

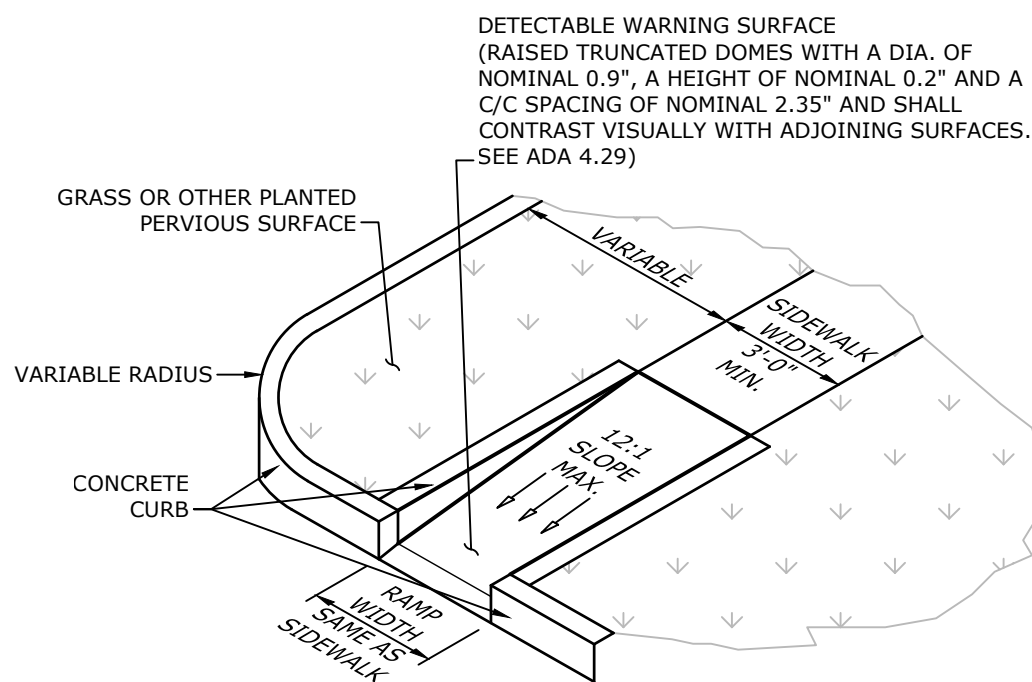
STANDARD DUTY PAVEMENT SECTION

NOT TO SCALE



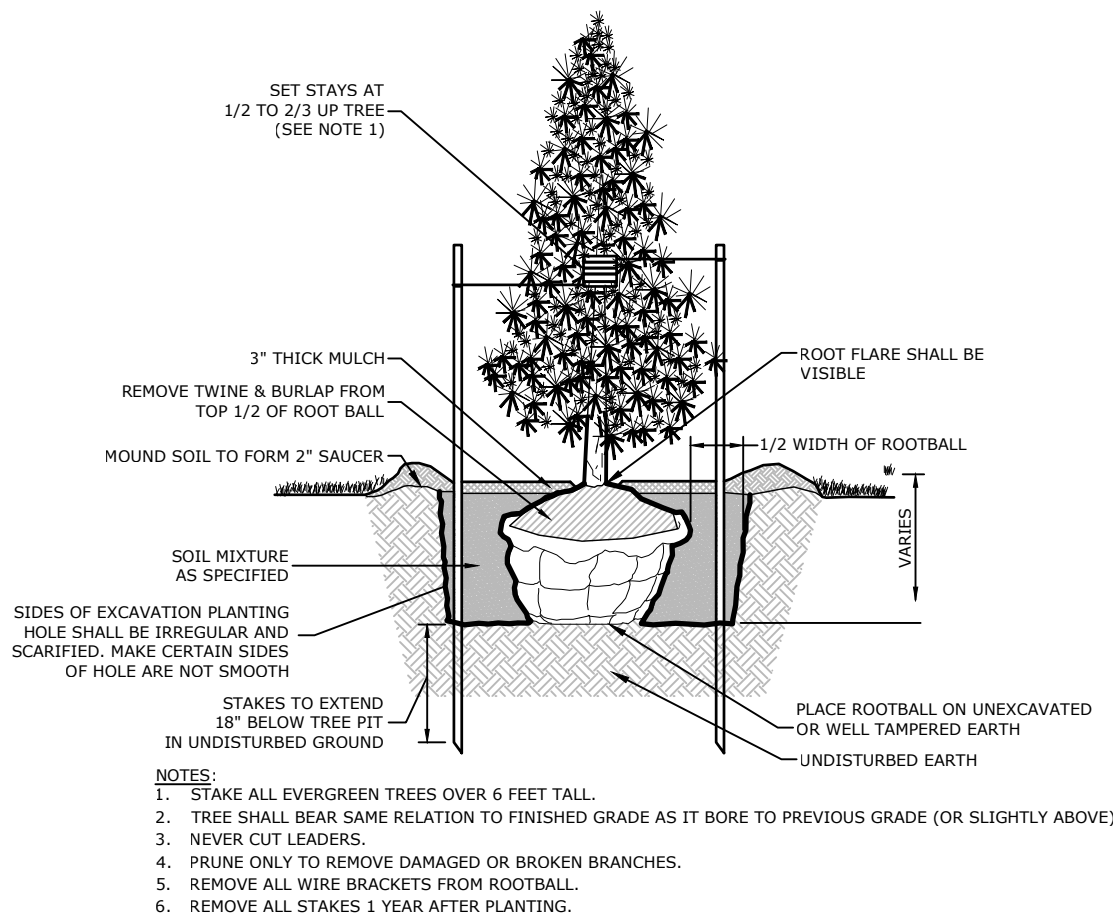
HEAVY DUTY CONCRETE

NOT TO SCALE



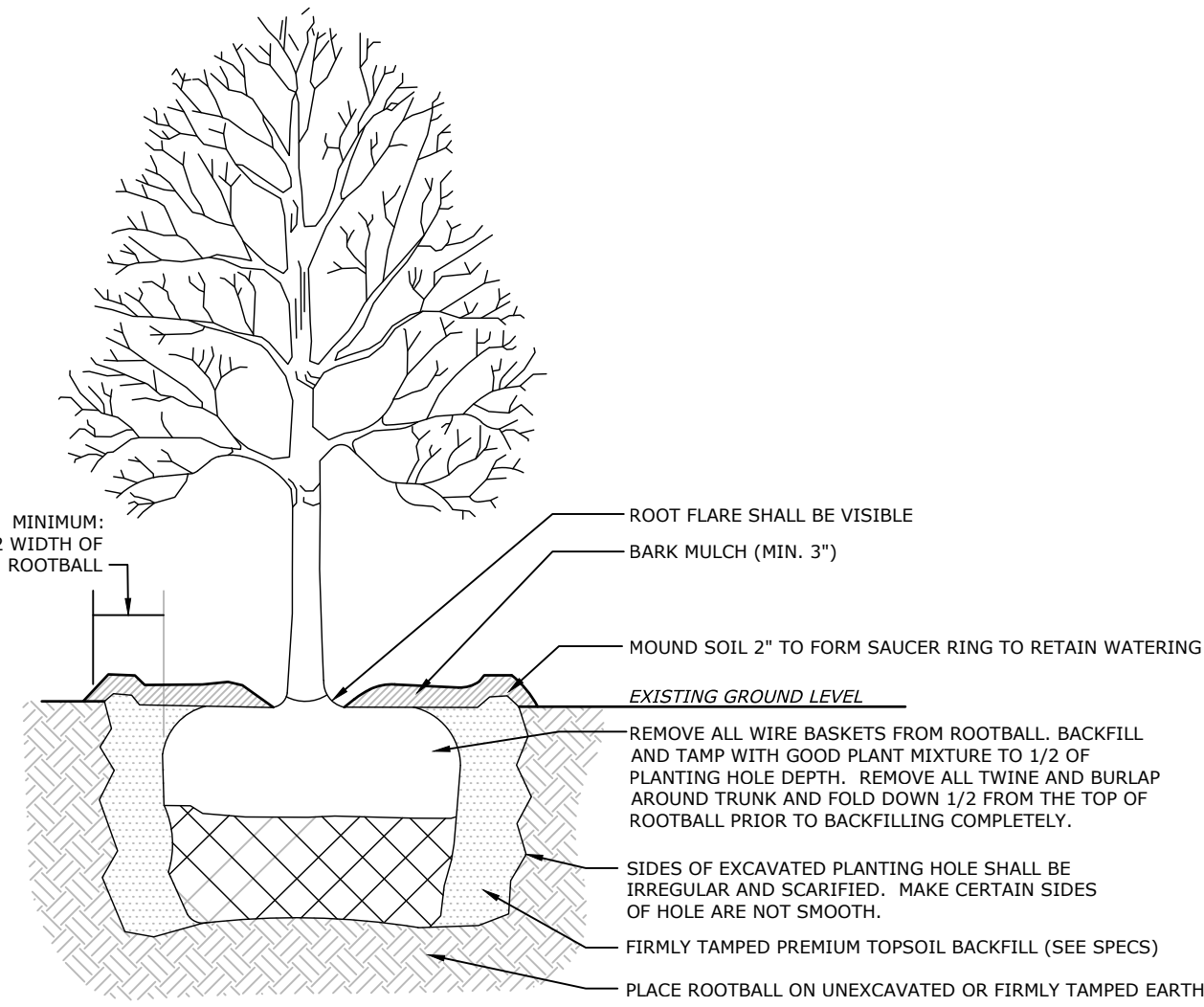
TYPE 4A CURB RAMP

NOT TO SCALE



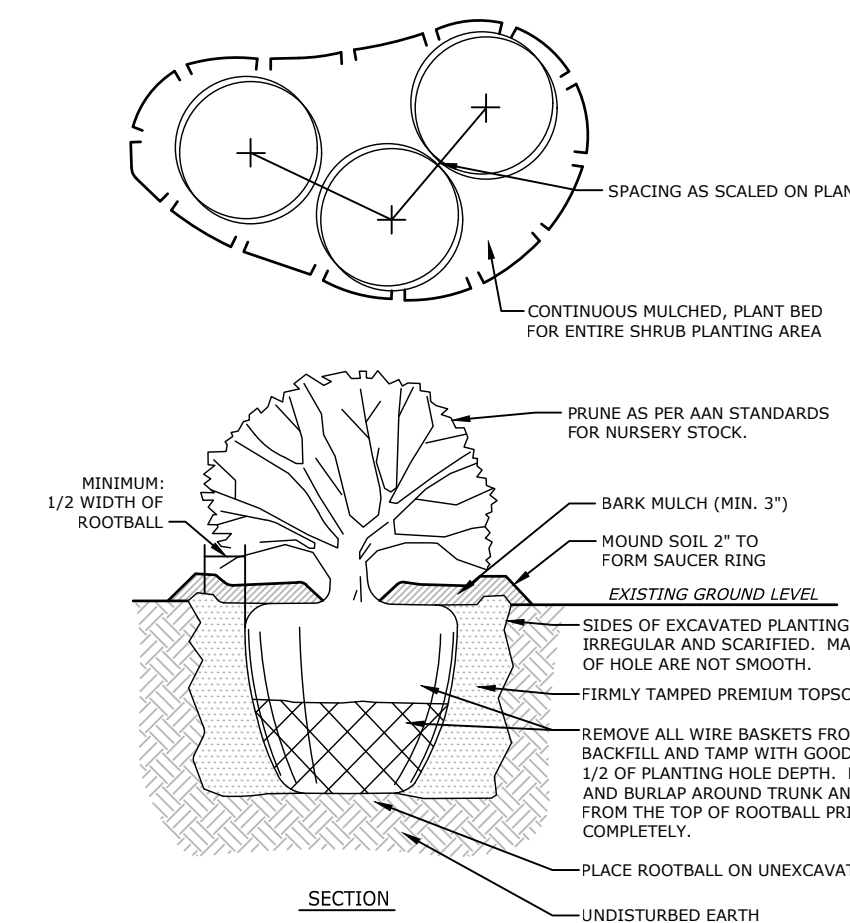
EVERGREEN TREE PLANTING

NOT TO SCALE



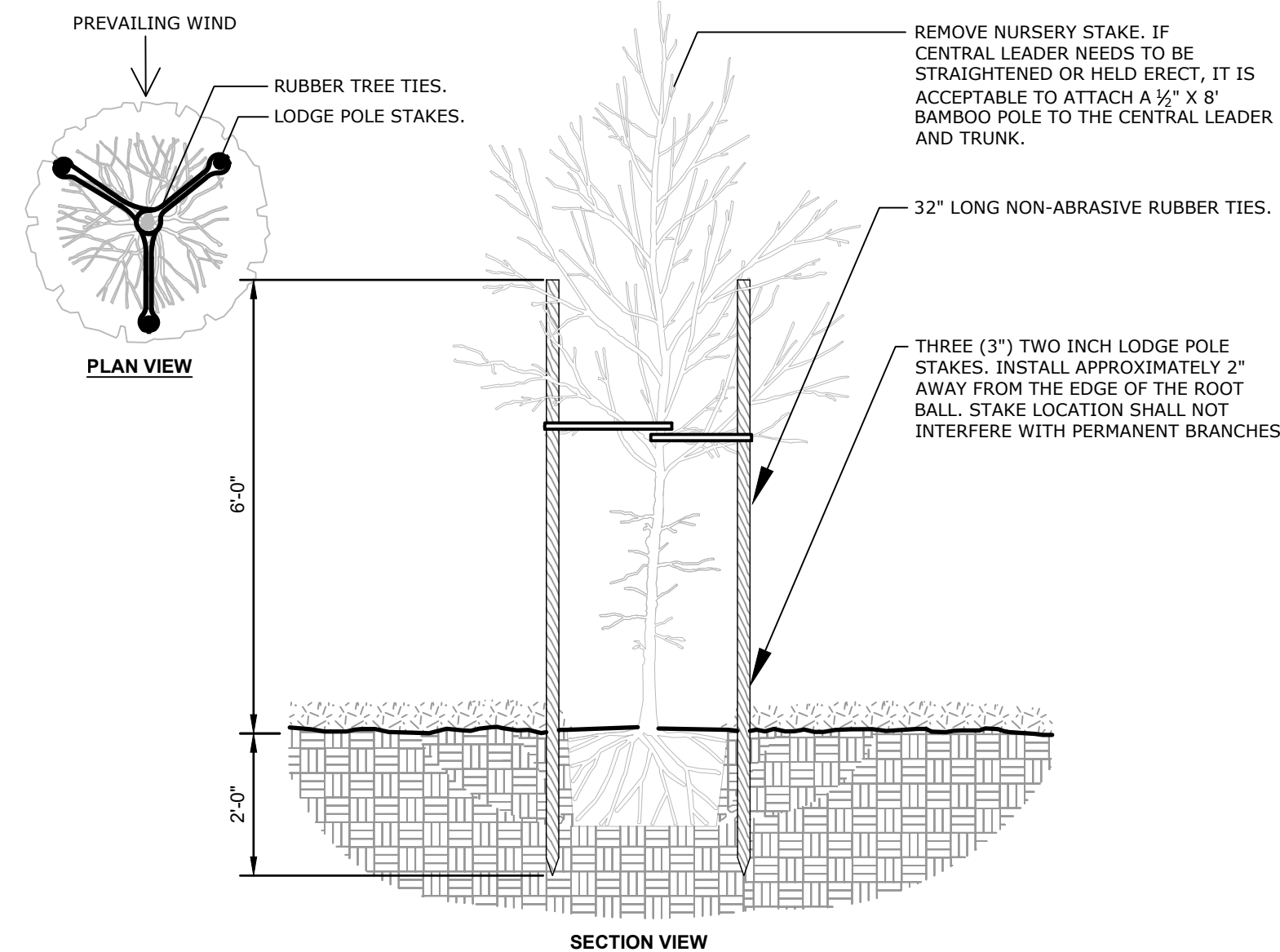
DECIDUOUS TREE PLANTING

NOT TO SCALE



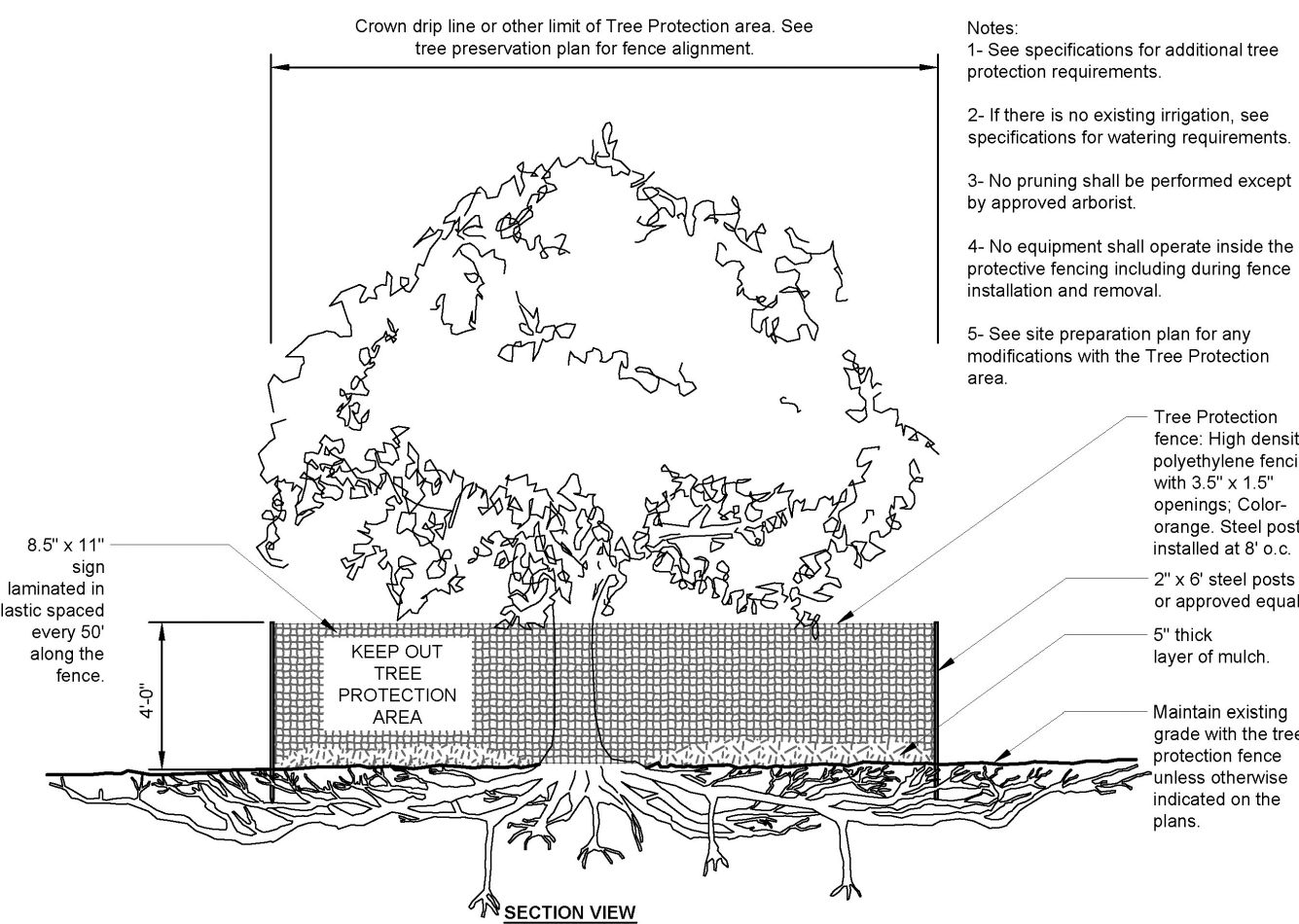
TYPICAL SHRUB PLANTING

NOT TO SCALE



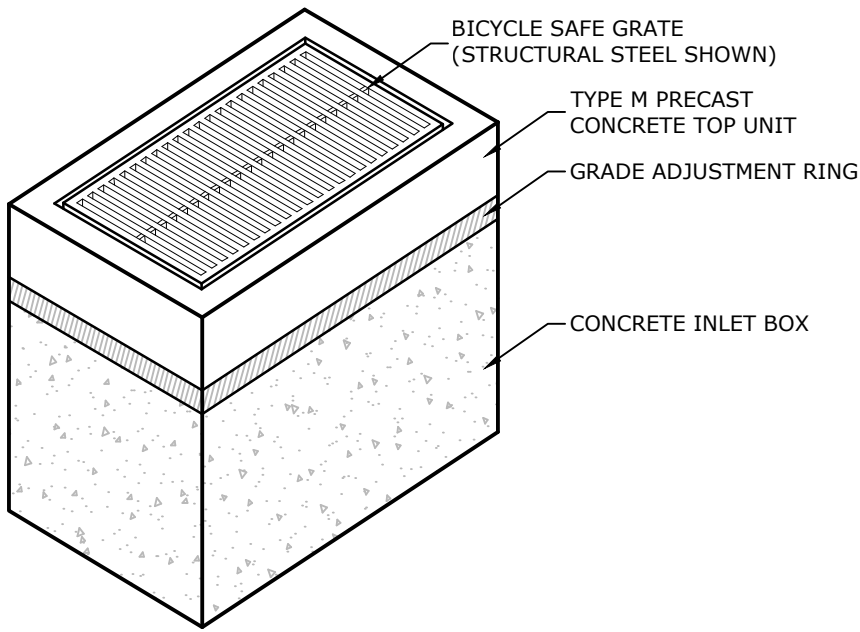
TREE STAKING DETAIL

NOT TO SCALE



TREE PROTECTION DETAIL

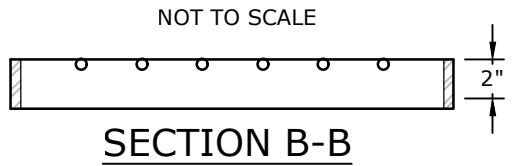
NOT TO SCALE



NOTES:

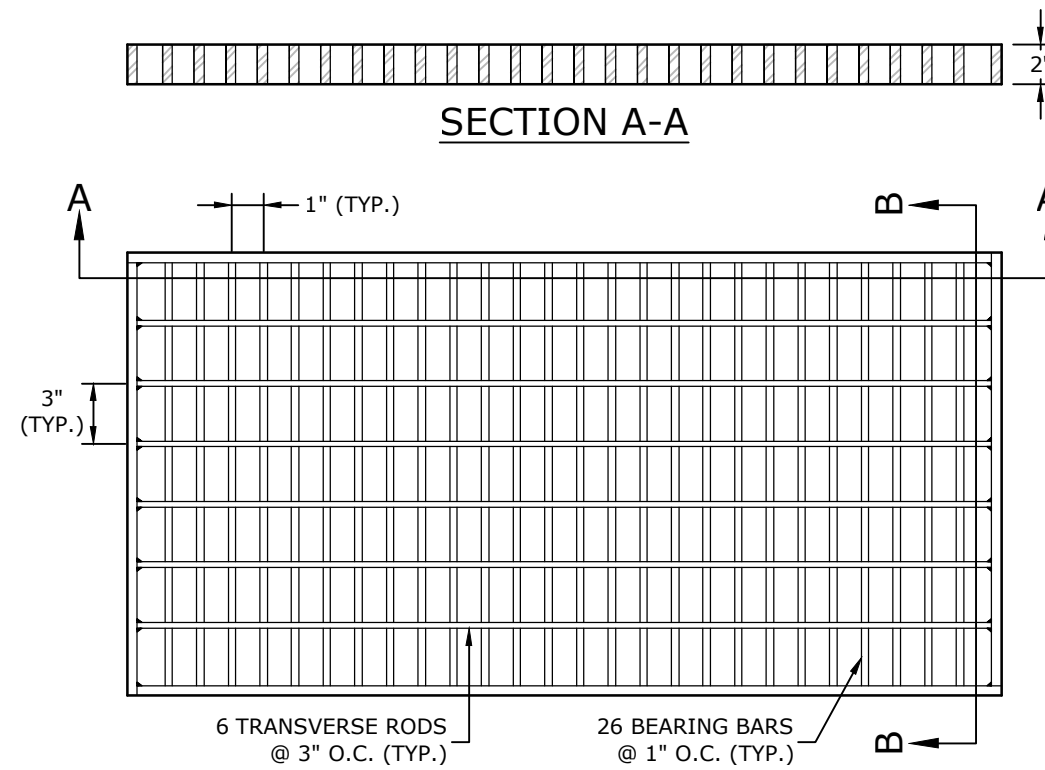
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PENN DOT PUBLICATION 408, SECTION 605 AND STANDARDS FOR ROADWAY CONSTRUCTION, RC-46M. CONTRACTOR SHALL VERIFY INLET BOX SIZING BASED ON PIPE SIZES AND ALIGNMENT PRIOR TO ORDERING PRECAST STRUCTURES. STRUCTURE SHALL BE CERTIFIED FOR H20 LOADING.
2. ALL DRAINAGE STRUCTURES SHALL HAVE POURED-IN-PLACE CONCRETE CHANNEL BOTTOMS.
3. USE PRECAST CONCRETE OR STEEL GRADE ADJUSTMENT RINGS WHEN REQUIRED.
4. ALL INLETS IN PARKED AREAS SHALL HAVE HEAVY-DUTY BICYCLE SAFE GRATING.
5. ALL INLETS IN PEDESTRIAN/PLAYGROUND AREAS SHALL HAVE ADA COMPLIANT GRATING.
6. ALL INLETS SHALL BE SUMPED BELOW GRADE (2 INCHES) TO AID IN THE RUNOFF FLOW TO THE INLETS.
7. ALL FRAMES, CONCRETE TOP UNITS, AND GRADE ADJUSTMENTS RINGS SHALL BE SET IN A BED OF FULL MORTAR IN ACCORDANCE WITH PENNDOT PUBLICATION 408.
8. ALL INLETS DEEPER THAN FIVE FEET SHALL BE PROVIDED WITH MANHOLE-TYPE STEPS FOR ACCESS.

TYPE 'M' INLET



SECTION B-B

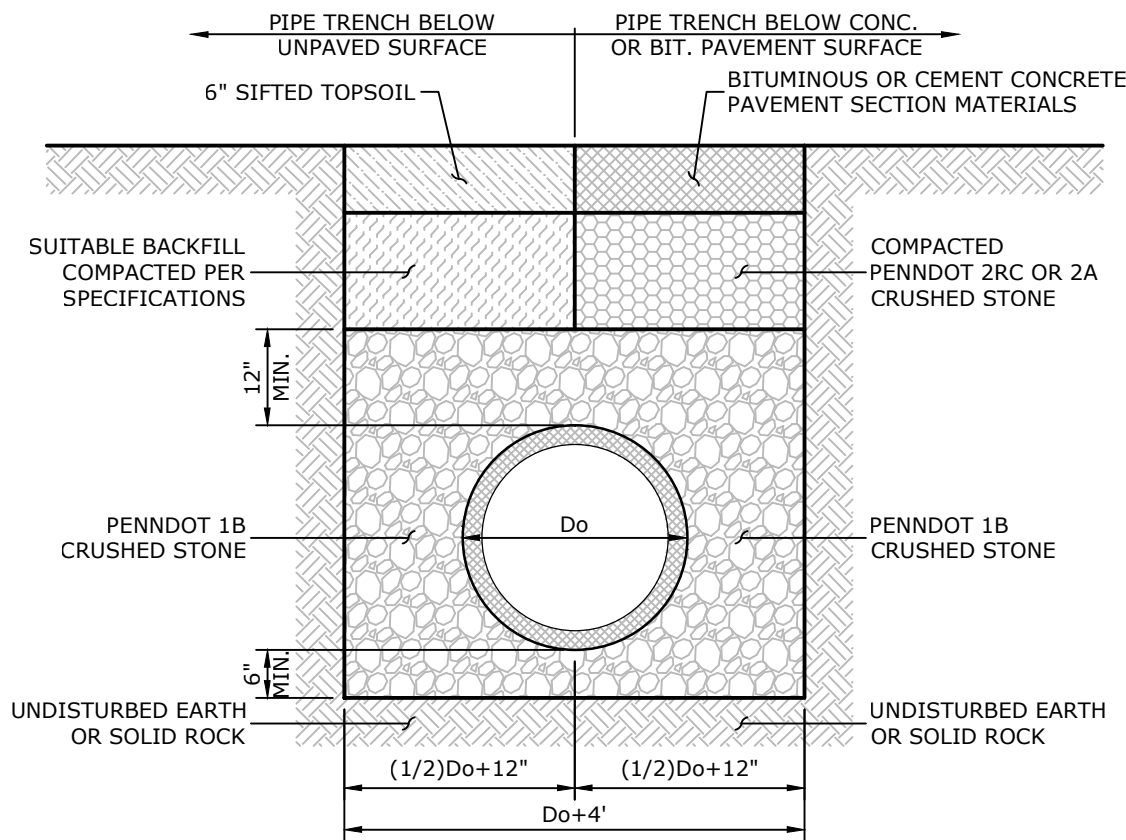
SECTION A-A



PLAN

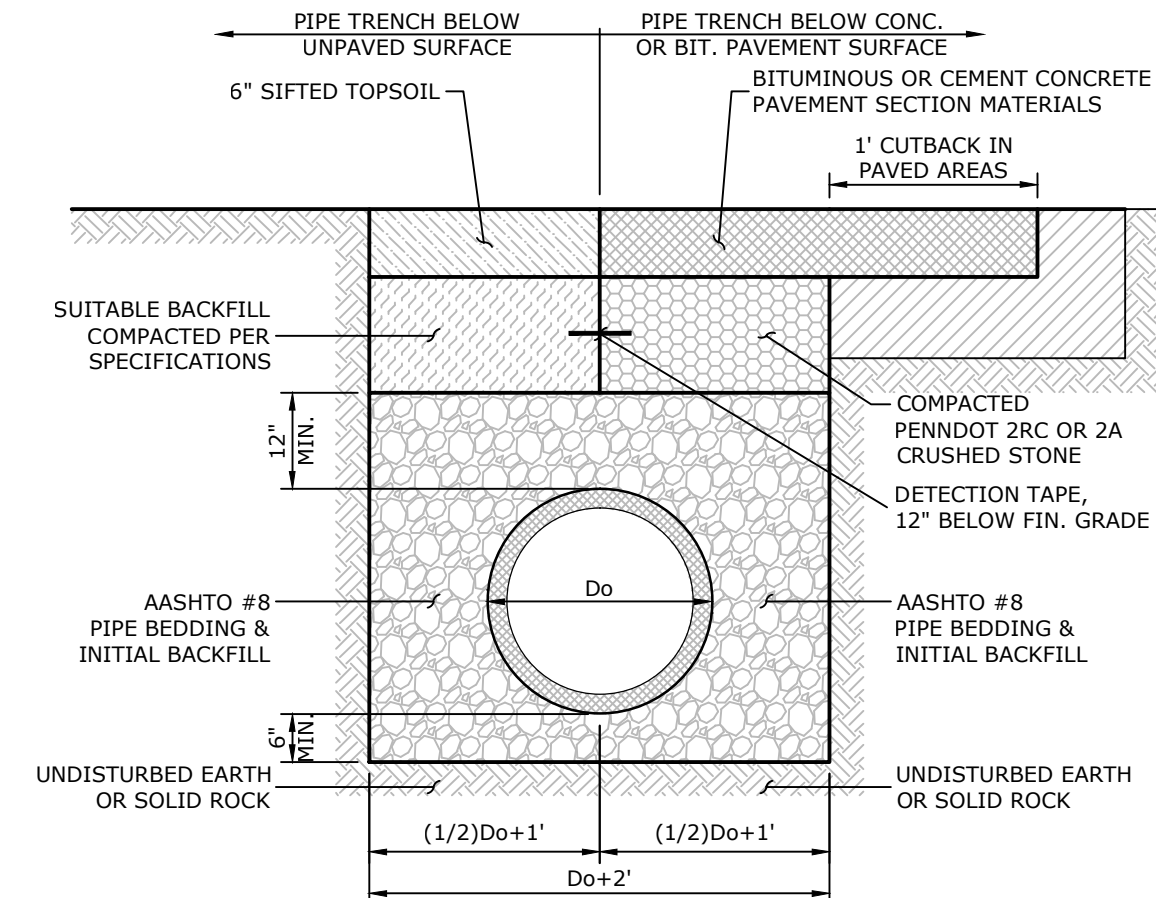
STRUCTURAL STEEL BICYCLE SAFE GRATE

NOT TO SCALE



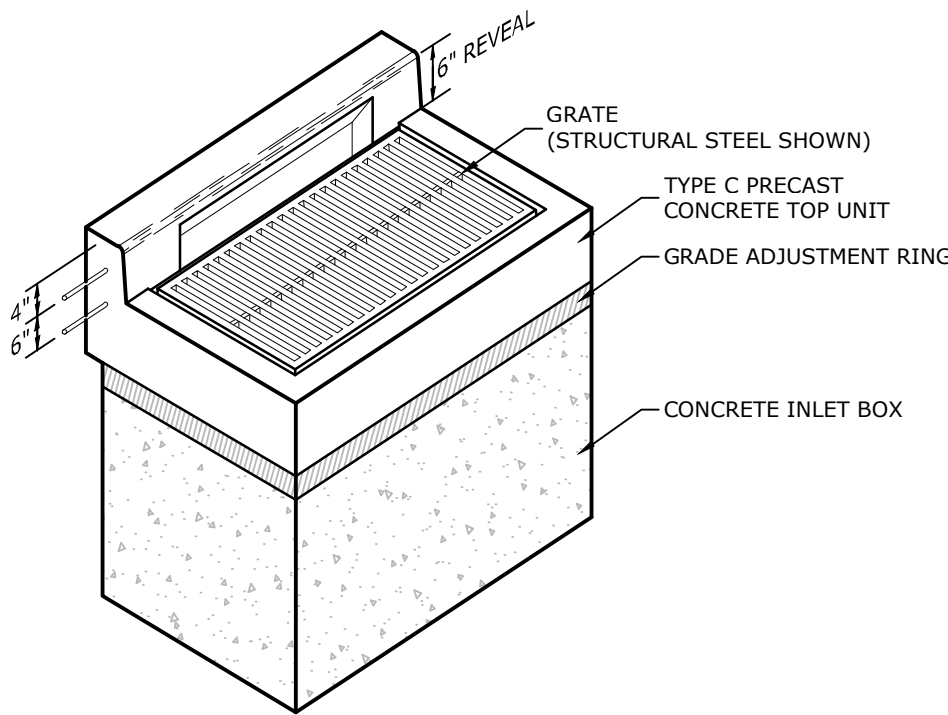
STORM PIPE TRENCH SECTION

NOT TO SCALE



SANITARY SEWER PIPE TRENCH SECTION

NOT TO SCALE

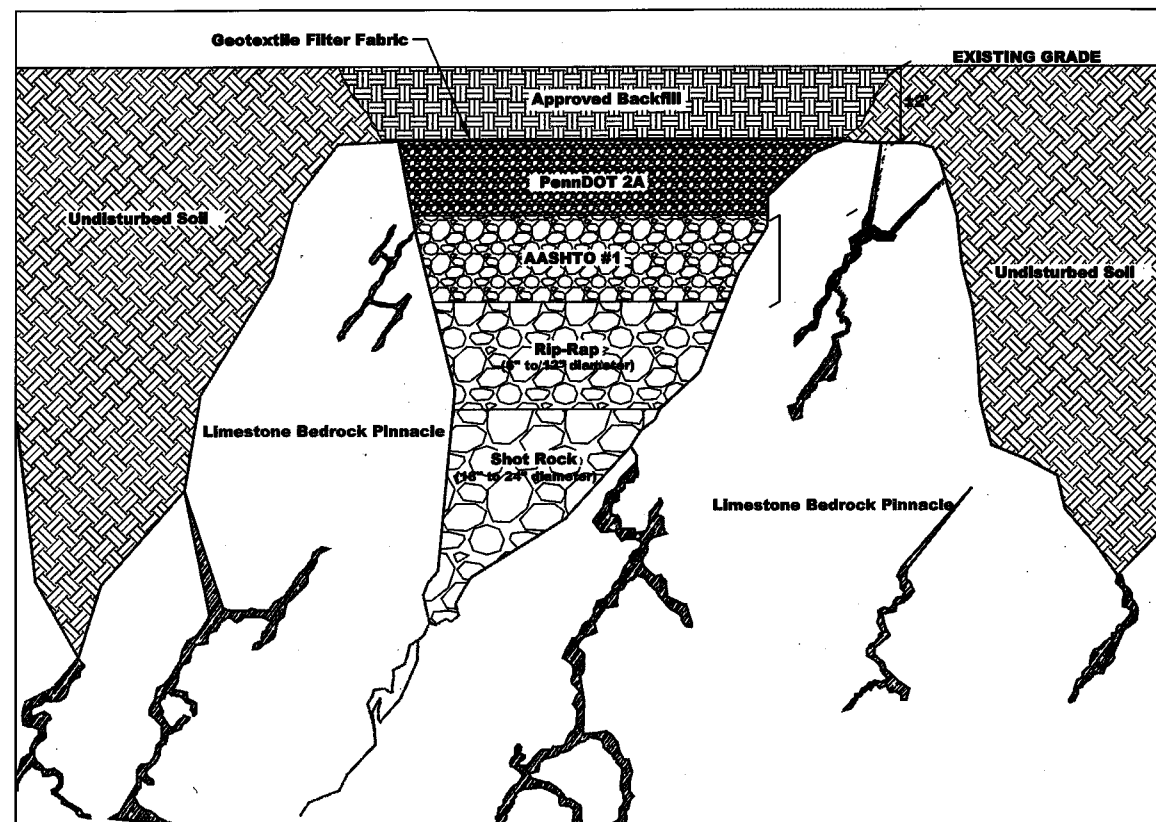


NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PENN DOT PUBLICATION 408, SECTION 605 AND STANDARDS FOR ROADWAY CONSTRUCTION, RC-45M. CONTRACTOR SHALL VERIFY INLET BOX SIZING BASED ON PIPE SIZES AND ALIGNMENT PRIOR TO ORDERING PRECAST STRUCTURES. STRUCTURE SHALL BE CERTIFIED FOR H20 LOADING.
2. ALL DRAINAGE STRUCTURES SHALL HAVE POURED-IN-PLACE CONCRETE CHANNEL BOTTOMS.
3. USE PRECAST CONCRETE OR STEEL GRADE ADJUSTMENT RINGS WHEN REQUIRED.
4. ALL INLETS SHALL HAVE BICYCLE SAFE GRATES.
5. ALL INLETS SHALL BE SUMPED BELOW GRADE (2 INCHES) TO AID IN THE RUNOFF FLOW TO THE INLETS.
6. ALL FRAMES, CONCRETE TOP UNITS, AND GRADE ADJUSTMENTS RINGS SHALL BE SET IN A BED OF FULL MORTAR IN ACCORDANCE WITH PENNDOT PUBLICATION 408.
7. ALL INLETS OVER FOUR FEET IN DEPTH, AS DETERMINED FROM FINISHED GRADE TO THE BOTTOM OF THE INLET, SHALL BE PROVIDED WITH STEPS FOR ACCESSIBILITY

TYPE 'C' INLET

NOT TO SCALE



NOTES:

1. THE REPAIRS OUTLINED BELOW ARE GENERAL GUIDELINES AND EACH SINKHOLE OCCURRENCE SHOULD BE THOROUGHLY REVIEWED BY THE GEOTECHNICAL ENGINEER OF RECORD FOR AN APPROPRIATE REMEDIATION PLAN:

STRUCTURAL AREAS (AREAS WITHIN THE BUILDING FOOTPRINT OR BENEATH PAVEMENT)

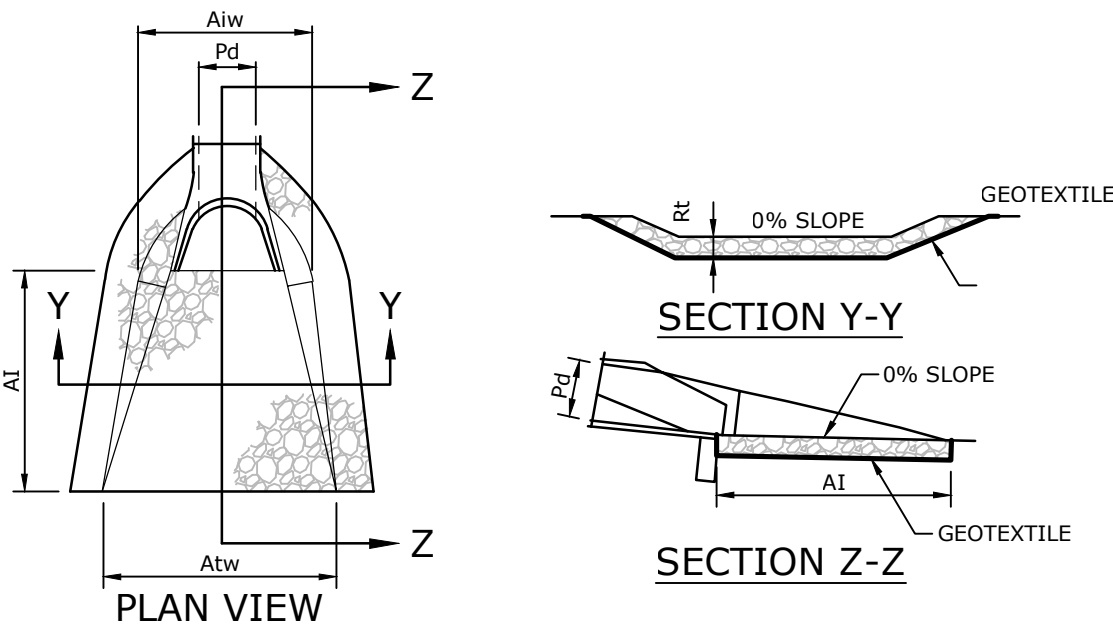
- ANY AND ALL LOOSE AND/OR SATURATED SOILS WITHIN THE SINKHOLE SHOULD BE EXCAVATED AND CONTINUE UNTIL STABLE SOILS, A "THROAT" IS IDENTIFIED, OR UNTIL THE EXTENT OF THE EXCAVATION EQUIPMENT IS REACHED.
- UPON REMOVAL OF THE UNSTABLE SOILS, THE EXCAVATION SHOULD BE BACKFILLED USING HIGH MOBILITY, LOW STRENGTH FLOWABLE FILL (500 PSI) TO FINAL SUBGRADE ELEVATION.

NON-STRUCTURAL AREAS (NON-BUILDING/LANDSCAPED AREAS)

- ANY AND ALL LOOSE AND/OR SATURATED SOILS SHOULD BE EXCAVATED FROM THE SINKHOLE. EXCAVATION SHOULD CONTINUE UNTIL STABLE SOILS, A "THROAT" IS IDENTIFIED, OR UNTIL THE EXTENT OF THE EXCAVATION EQUIPMENT IS REACHED.
- THE EXCAVATION SHOULD BE BACKFILLED WITH AGGREGATE OF DECREASING SIZE AS DEPICTED ON THE INVERTED FILTER DETAIL.

SINKHOLE REPAIR DETAIL

NOT TO SCALE



OUTLET NO.	PIPE DIA Pd (IN)	RIPRAP		APRON		
		SIZE (R-)	THICK Rt (IN)	LENGTH Ai (FT)	INITIAL WIDTH Atw (FT)	TERMINAL WIDTH Atw (FT)
FES-101	15	3	9	8	3.75	11.75

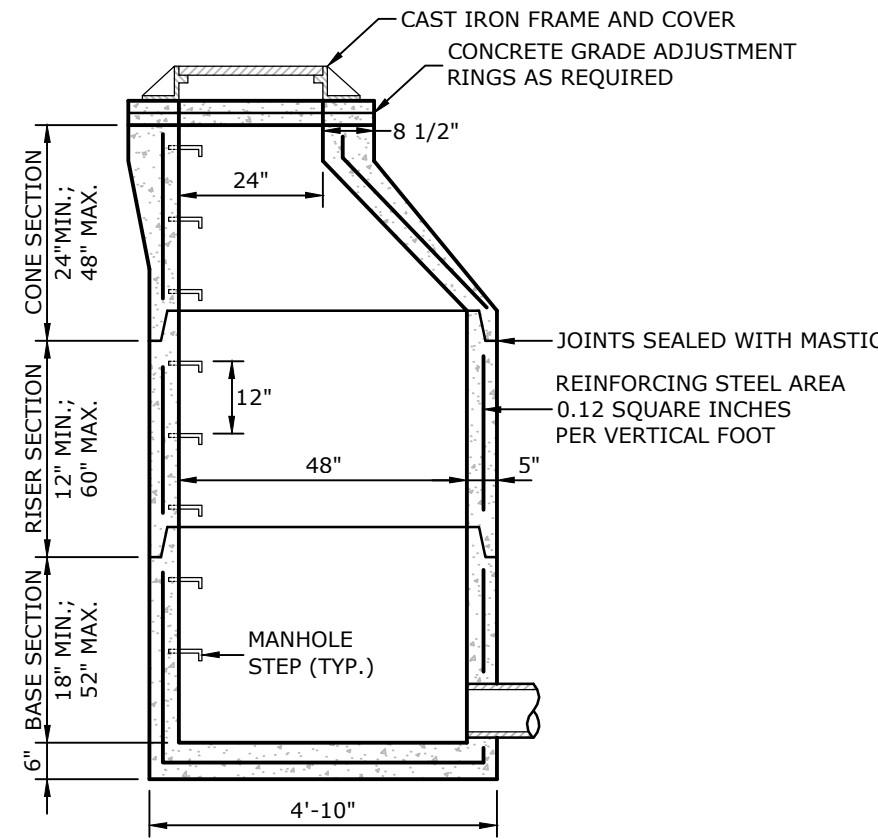
NOTES:

ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.

ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

STANDARD CONSTRUCTION DETAIL #9-1
RIPRAP APRONS AT PIPE OUTLETS

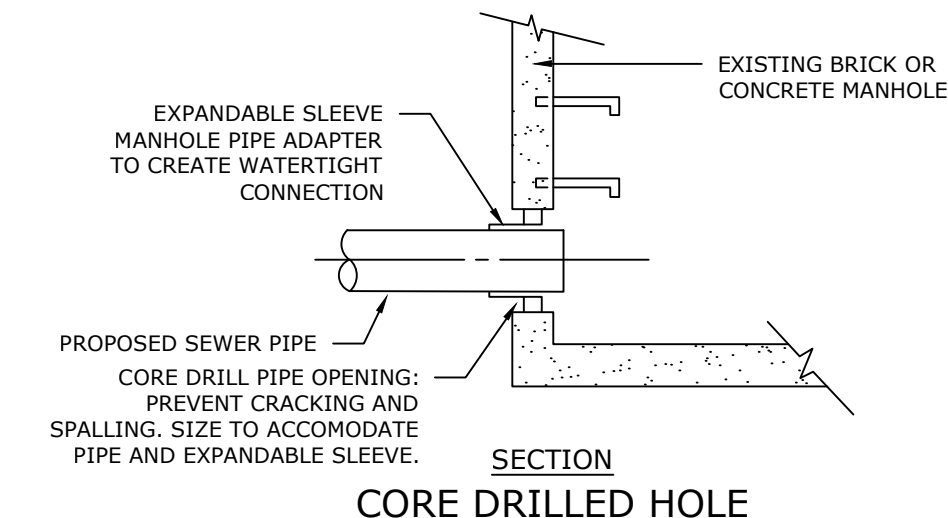
NOT TO SCALE



SECTION

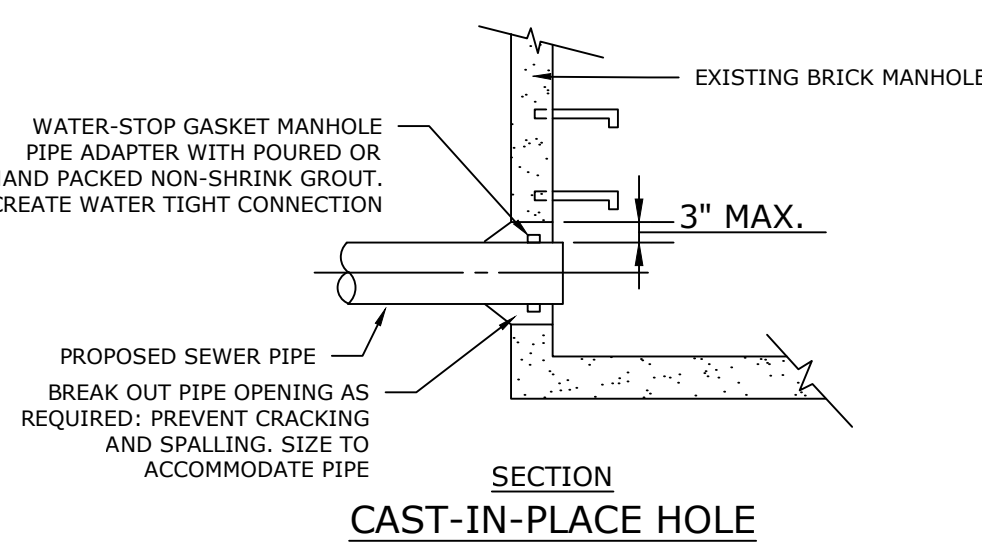
4' DIAMETER
PRECAST CONCRETE MANHOLE

NOT TO SCALE



SECTION

CORE DRILLED HOLE

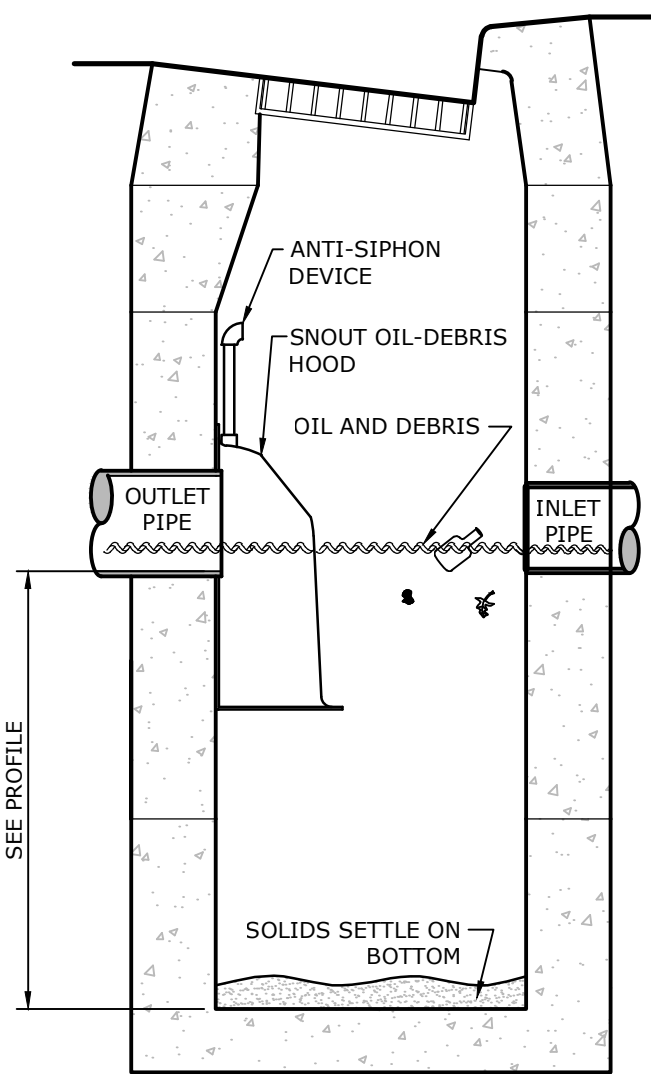


SECTION

CAST-IN-PLACE HOLE

CONNECTION TO EXISTING MANHOLE DETAIL

NOT TO SCALE

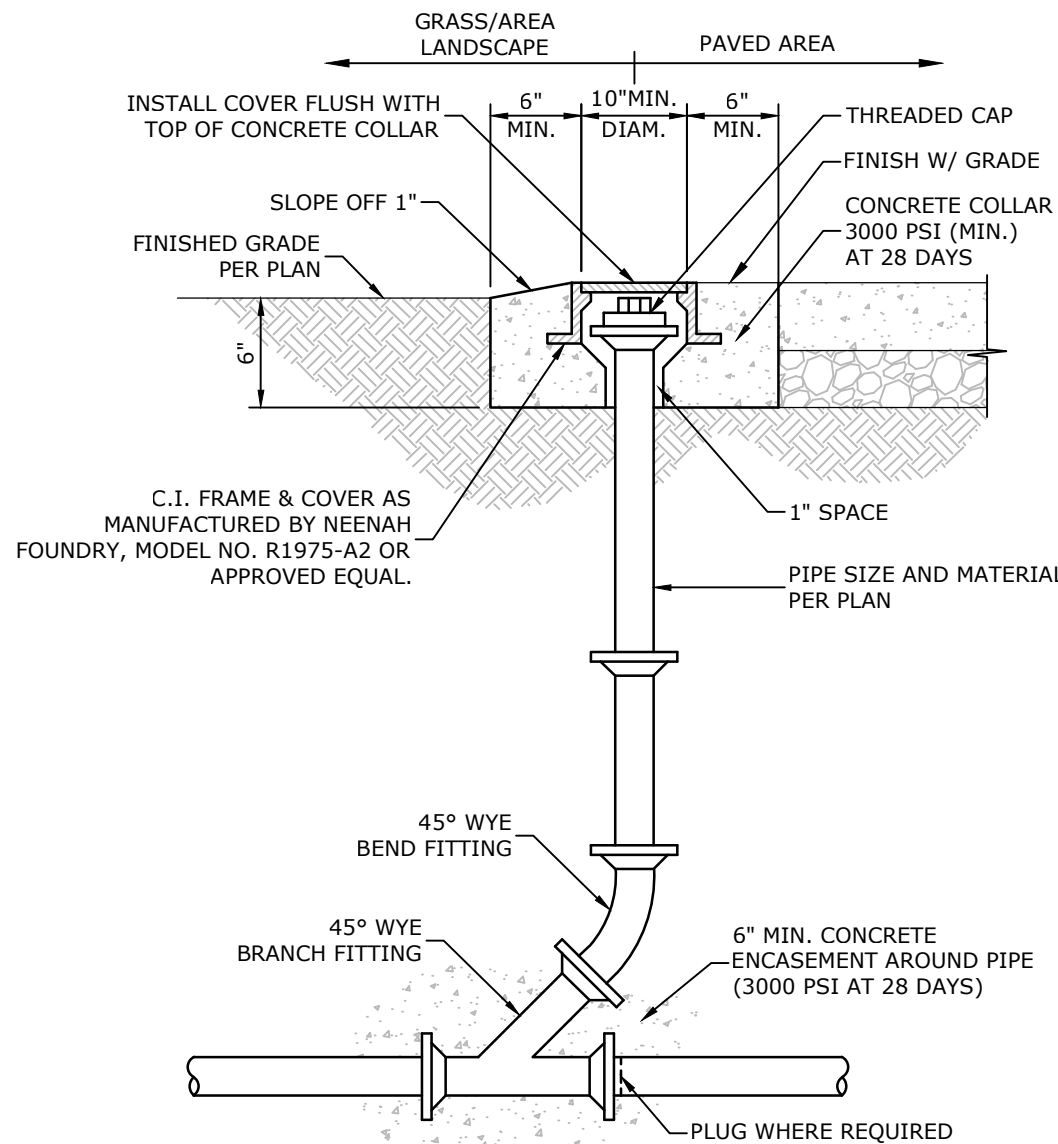


NOTE:

1. SNOUT TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS
2. SUMP DEPTH OF 36" MIN; FOR < OR= 12" DIAM.
3. SUMP DEPTH FOR OUTLETS > OR= 15", DEPTH = 2.5-3X DIAM.

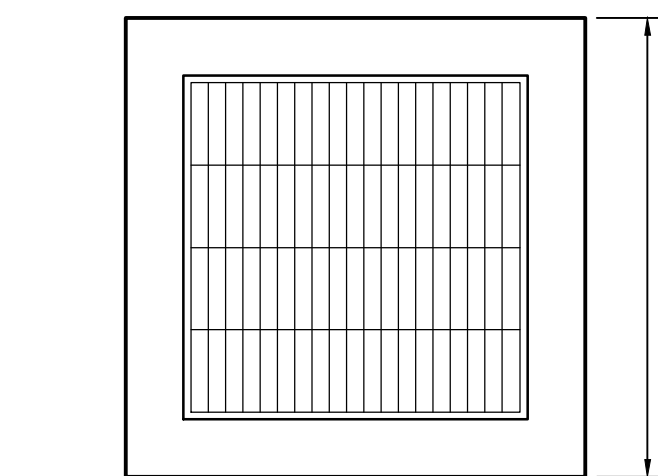
SNOUT WATER QUALITY
INSERT INSTALLATION
(YD-105)

NOT TO SCALE

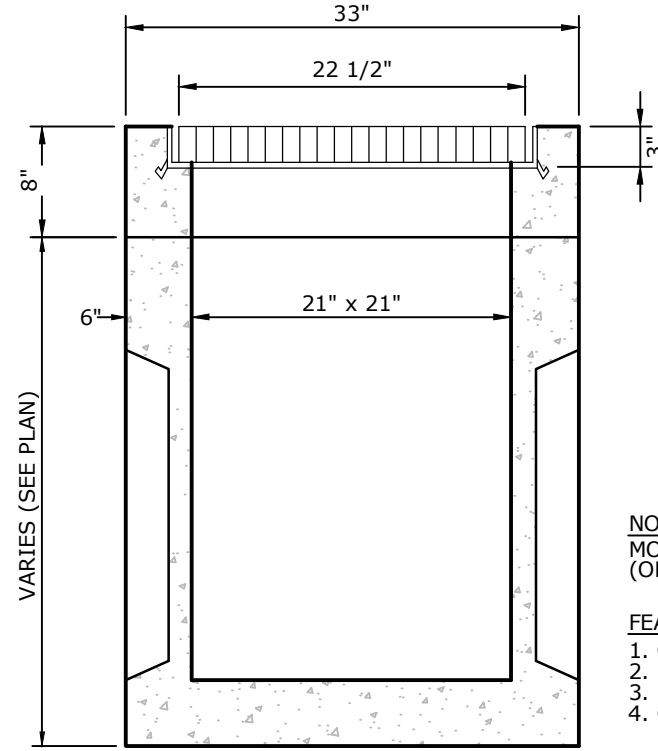


STORM SEWER CLEANOUT

NOT TO SCALE



PLAN



SECTION

- NOTES:
1. CAST IRON FRAME & GRATE
 2. HS-25 LOAD RATING
 3. 5000 PSI CONCRETE
 4. GRADE 60 REBAR

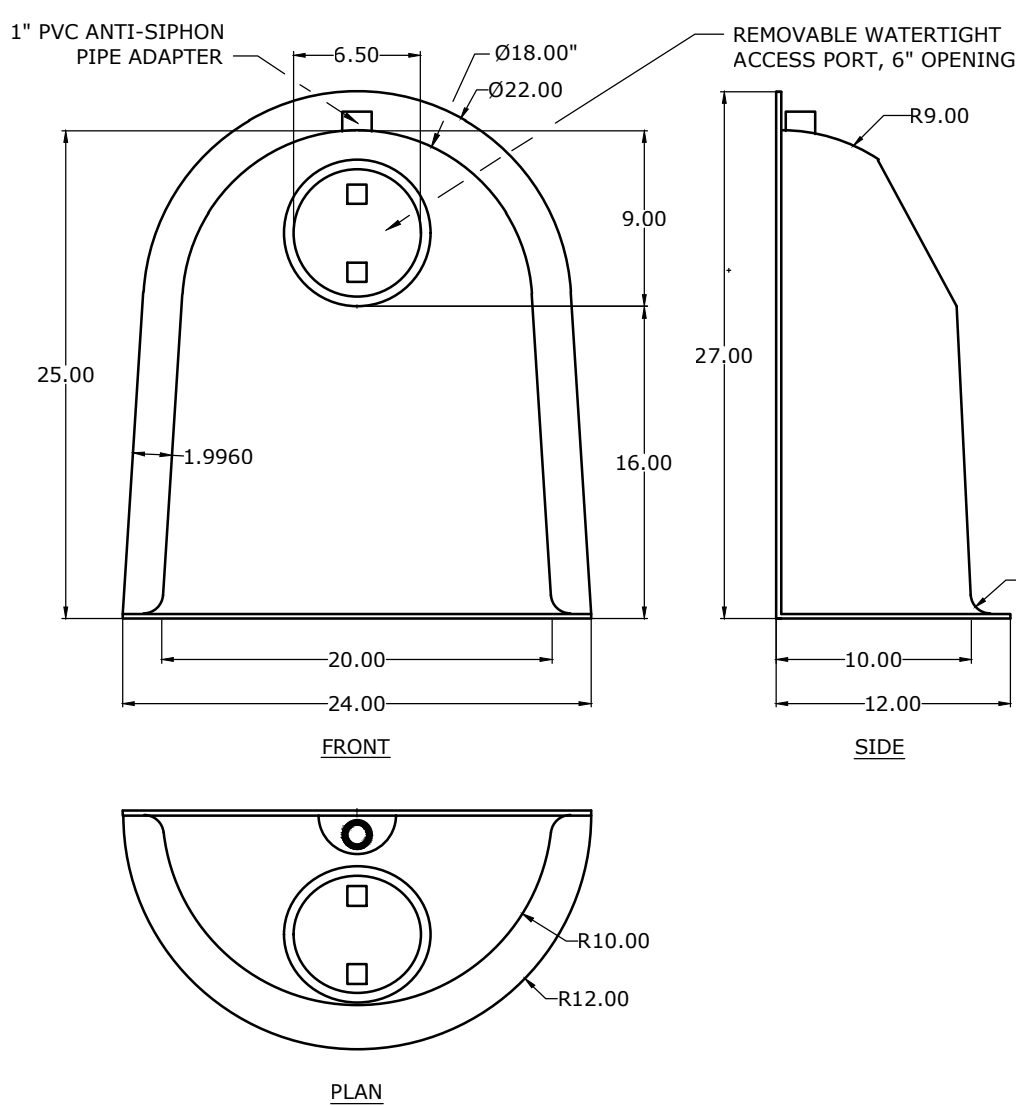
- FEATURES:
1. CAST IRON FRAME & GRATE
 2. HS-25 LOAD RATING
 3. 5000 PSI CONCRETE
 4. GRADE 60 REBAR

NOTE:

1. ALL YARD INLETS IN PAVED AREAS SHALL HAVE HANDICAPPED ACCESSIBLE GRATES INSTALLED.
2. ALL OTHER YARD INLETS SHALL HAVE BICYCLE SAFE GRATES

2'x2' YARD INLET

NOT TO SCALE



PLAN

18F SNOUT WATER QUALITY
INSERT (YD-105)

NOT TO SCALE

PROFESSIONAL SEAL

SCALE:	AS SHOWN
DATE:	JANUARY 2, 2025
K&W PROJECT:	2003.089
DRAWN BY:	PKS
CAD DRAWING:	2003089-1.dwg

NO.	DATE	DESCRIPTION	REVISED PER COMMENT LETTER	1	2	3	4	5	6	7
1	02/21/2025	REVISED PER COMMENT LETTER								

PLAN TYPE:

PCSM
DETAILS

SHEET:

This architectural section drawing illustrates a long, narrow building layout. The drawing features a central corridor, shaded with diagonal hatching, which runs the length of the building. On either side of this corridor are rows of rectangular rooms, each defined by a grid of lines. The building is bounded by a dashed line on the left and a solid line on the right. Key dimensions are provided: a total length of 229.37' and a width of 36.08'. A specific section of the building, located towards the right end, is highlighted with a dashed rectangular box. This section contains three rooms, each with a small, shaded rectangular area within it. The drawing includes various annotations, including letters 'F', 'G', and 'D' pointing to specific features, and a scale bar at the bottom indicating a length of 218.75'.

NOT TO SCALE



NOT TO SCALE

PLEASE NOTE:

1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".

2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR A LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 8" (230 mm) MAX) LIFTS USING TWO FULL COVERSAGES WITH A VIBRATORY COMPACTOR.

3. WORKING SURFACE MAY BE COMPROMISED BY COMPACTION. FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.

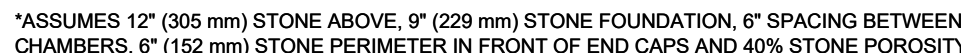
4. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEERS DISCRETION.

5. WHEN RECYCLED CONCRETE AGGREGATE IS USED IN LAYERS 'A' OR 'B' THE MATERIAL SHOULD ALSO MEET THE ACCEPTABILITY CRITERIA OUTLINED IN TECHNICAL NOTE 6.20 "RECYCLED CONCRETE STRUCTURAL BACKFILL".



1. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 45x76 DESIGNATION SS.
2. MC-300 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THE THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
3. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION OF SOILS OF EXPECTED SOIL MOISTURE CONDITIONS. REFERENCE STORMTECH DESIGN MANUAL FOR BEARING CAPACITY GUIDANCE.
4. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
5. REQUIREMENTS FOR HANDLING AND INSTALLATION:
- TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 450 (LB/FT²). THE ASC IS DEFINED IN SECTION 6.2.6 OF ASTM F2418; and b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

NOT TO SCALE

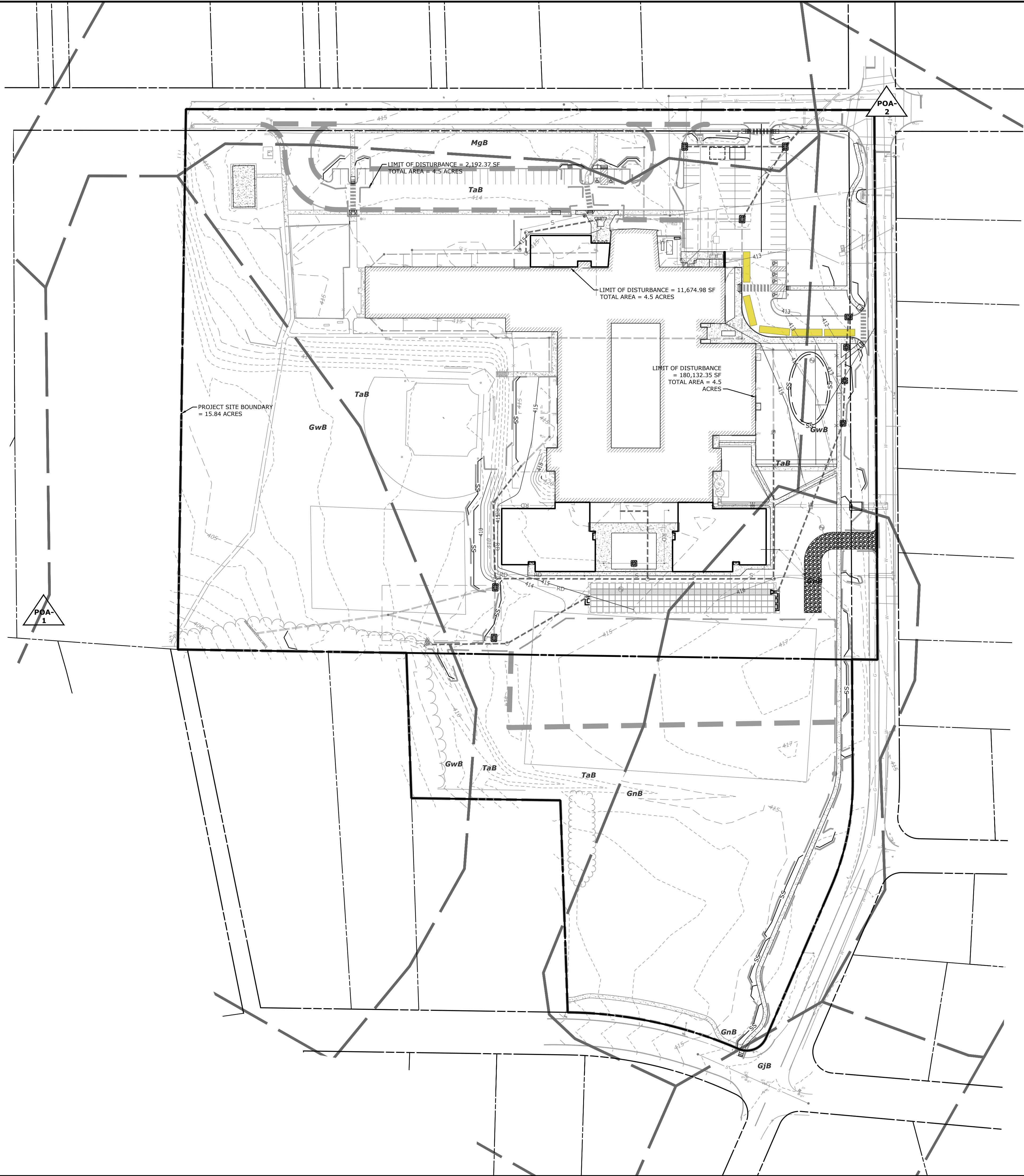


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NOTE: ALL DIMENSIONS ARE NOMINAL

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NOT TO SCALE



LEGEND

PROPOSED E&S CONTROL PLAN FEATURES

LIMIT OF DISTURBANCE

NPDES PERMIT BOUNDARY

STABILIZED ROCK CONSTRUCTION ENTRANCE

SOIL MATERIAL STOCKPILE

SS

SS

SILT SOCKS

INLET PROTECTION

CONCRETE WASHOUT

SOIL LIMITATION RESOLUTIONS

- SLOPES** - EXCAVATIONS SHOULD BE STABILIZED TO PREVENT EROSION AND CONTRACTOR SHOULD EMPLOY PROPER CONSTRUCTION TECHNIQUES TO ENSURE SAFETY ON STEEP SLOPE AREAS.
- DEPTH OF ROCK** - IF BEDROCK IS ENCOUNTERED, REMOVE AS NECESSARY IN ACCORDING WITH PROJECT SPECIFICATIONS.
- FROST ACTION** - CONTRACTOR SHALL CONSULT PROJECT GEOTECHNICAL ENGINEER/INSPECTOR REGARDING ANY SPECIAL MEASURES TO BE TAKEN FOR EARTHWORK WHICH IS TO OCCUR DURING PERIODS OF FROST.
- SOIL pH LEVELS** - CONTRACTOR SHALL HAVE SOIL pH TESTED TO DETERMINE CORRECT FERTILIZER APPLICATION RATES.
- FLOODING POTENTIAL** - ENSURE THAT THE SITE HAS PROPER DRAINAGE.
- HIGH GROUNDWATER LEVEL** - CONTRACTOR SHALL EMPLOY DEWATERING TECHNIQUES AS APPROVED BY THE CONSERVATION DISTRICT. PUMPED WATER FILTER BAGS SHALL BE USED TO DEWATER UTILITY TRENCHES AND BELOW GRADE EXCAVATIONS.
- EROSION** - ANY EROSION THAT OCCURS THAT CAN NOT BE ADDRESSED BY MEASURES FOUND IN THE PLANS THE CONTRACTOR SHALL CONTACT THE SITE DESIGN ENGINEER AND THE CONSERVATION DISTRICT.
- BASIN AREAS AND EMBANKMENTS** - FILL FOR BASIN EMBANKMENTS SHALL BE COMPACTED IN 8" LIFTS TO 98% MAXIMUM DRY DENSITY (STANDARD PROCTOR) $\pm 2\%$ MOISTURE CONTENT PER PER ASTM D-1557. ANTI-SEEP COLLARS SHALL BE INSTALLED ON A BASIN DISCHARGE PIPING TO PREVENT SEEPAGE OF WATER FROM THE BASIN. CONSULT WITH SITE DESIGN ENGINEER FOR THE SPECIFIC ANTI-SEEP COLLAR SIZE REQUIREMENTS.

GENERAL E&S NOTES

- BEFORE INITIATING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE DELAWARE COUNTY CONSERVATION DISTRICT.
- THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.
- SPECIAL CARE SHALL BE TAKEN TO PREVENT SEDIMENT LADEN STORMWATER FROM ENTERING ALL STORMWATER MANAGEMENT AND CONVEYANCE FACILITIES UNTIL THE SITE HAS BEEN PROPERLY STABILIZED.

K&W
DESIGNING ENVIRONMENTS
2201 North Front Street, Suite 200
Harrisburg, PA 17110
P: 717.635.2835
www.kandwengineers.com

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

COOPERTOWN ELEMENTARY SCHOOL ADDITION/RENOVATION

FOR

HAVERFORD TOWNSHIP SCHOOL DISTRICT

DELAWARE COUNTY, PA

PROFESSIONAL SEAL

SCALE: AS SHOWN

DATE: JANUARY 2, 2025

K&W PROJECT: 2003.089

DRAWN BY: PKS

CAD DRAWING: 2003089-K-16 E&S.dwg

REVISIONS		DATE	DESCRIPTION
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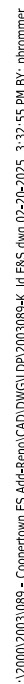
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OVERALL E&S PLAN

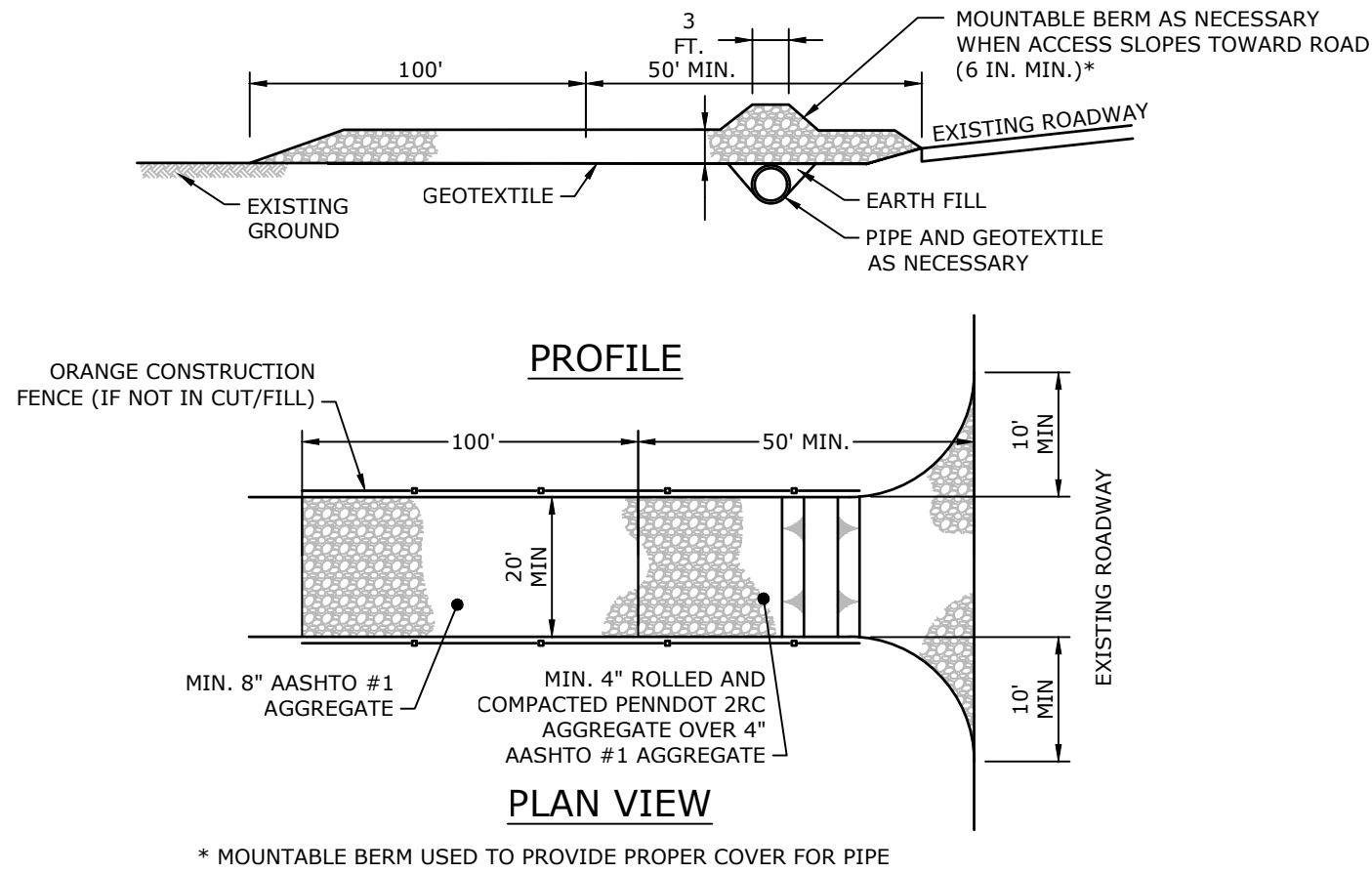
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*** MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE**

NOTES:

REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.

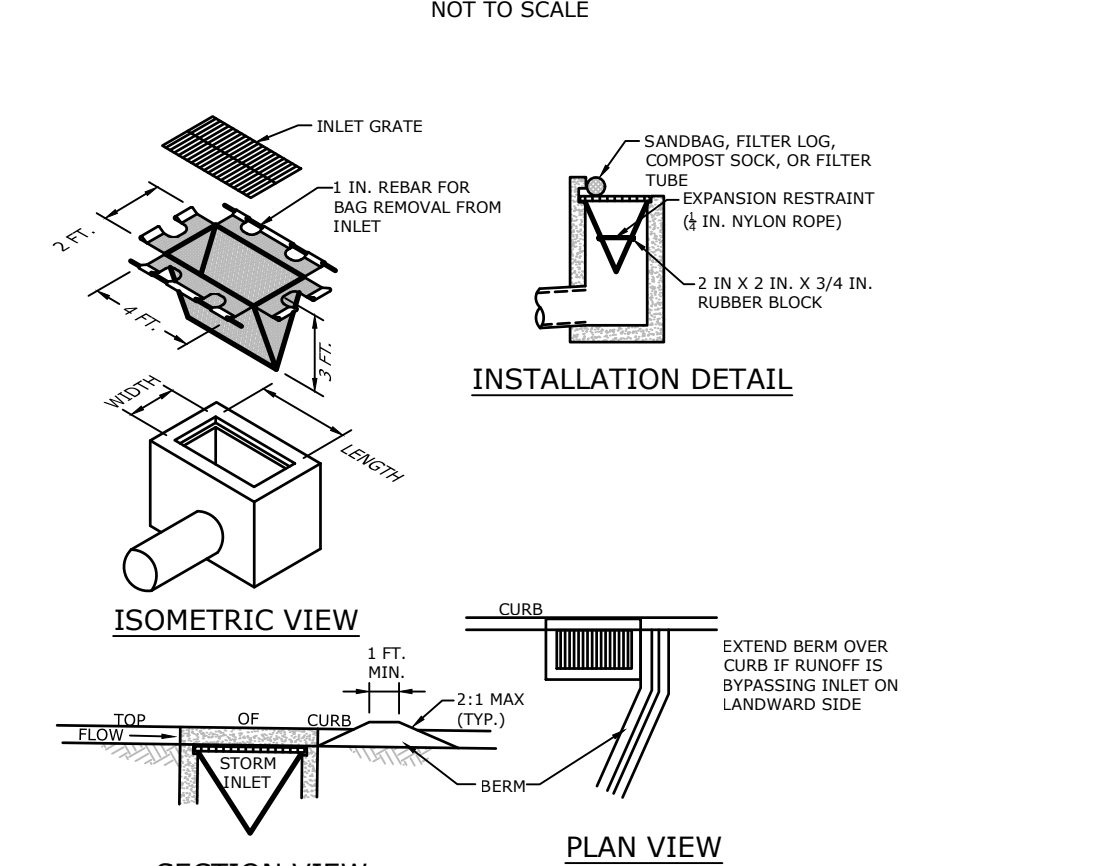
RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.

MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

TO BE CONSTRUCTED WITH MATERIALS AND TECHNIQUES IN ACCORDANCE WITH THE EROSION AND SEDIMENT POLLUTION CONTROL MANUAL EFFECTIVE DATE MARCH 31, 2012 AS AMENDED

ALTERNATIVE CONSTRUCTION DETAIL ROCK CONSTRUCTION ENTRANCE



NOTES:

MAXIMUM DRAINAGE AREA = 1/2 ACRE.

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.

AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS, A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRIANGULAR TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.

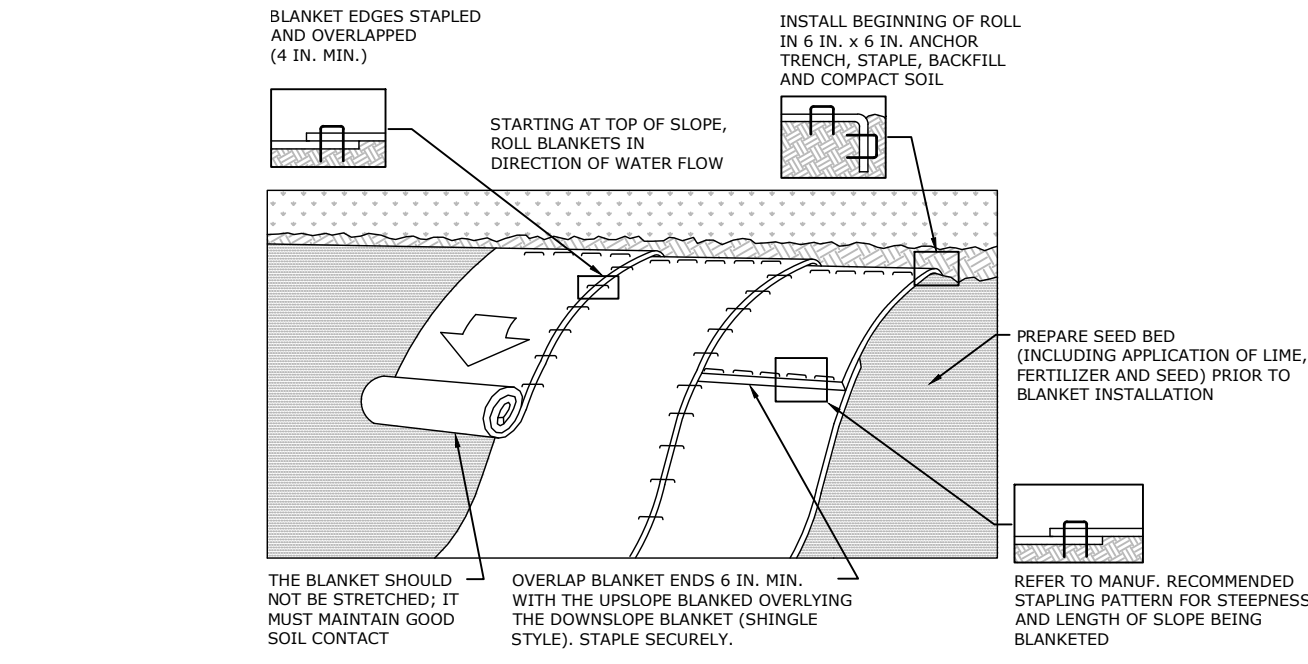
INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

TO BE CONSTRUCTED WITH MATERIALS AND TECHNIQUES IN ACCORDANCE WITH THE EROSION AND SEDIMENT POLLUTION CONTROL MANUAL EFFECTIVE DATE MARCH 31, 2012 AS AMENDED.

STANDARD CONSTRUCTION DETAIL #4-15 FILTER BAG INLET PROTECTION - TYPE C INLET

NOT TO SCALE



NOTES:

SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.

PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.

SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.

BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.

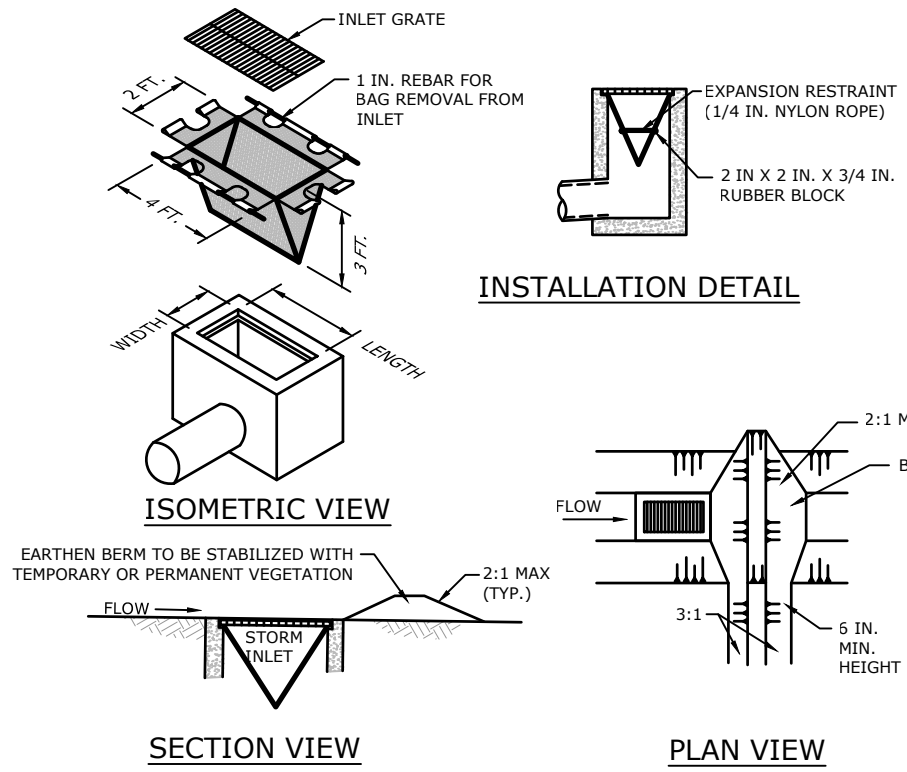
THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

TO BE CONSTRUCTED WITH MATERIALS AND TECHNIQUES IN ACCORDANCE WITH THE EROSION AND SEDIMENT POLLUTION CONTROL MANUAL EFFECTIVE DATE MARCH 31, 2012 AS AMENDED.

STANDARD CONSTRUCTION DETAIL #11-1 EROSION CONTROL BLANKET INSTALLATION

NOT TO SCALE



NOTES:

MAXIMUM DRAINAGE AREA = 1/2 ACRE.

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

ROLLED EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY.

AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS, A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRIANGULAR TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.

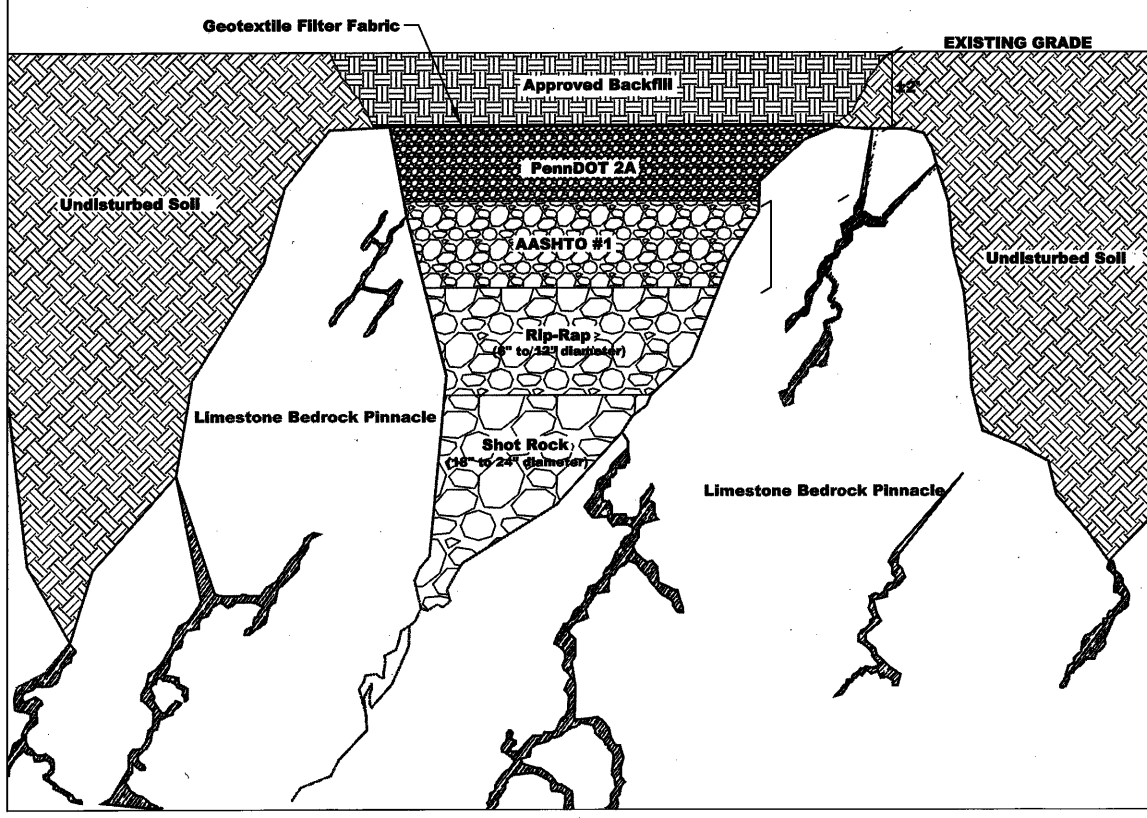
INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

TO BE CONSTRUCTED WITH MATERIALS AND TECHNIQUES IN ACCORDANCE WITH THE EROSION AND SEDIMENT POLLUTION CONTROL MANUAL EFFECTIVE DATE MARCH 31, 2012 AS AMENDED.

STANDARD CONSTRUCTION DETAIL #4-16 FILTER BAG INLET PROTECTION - TYPE M INLET

NOT TO SCALE



NOTES:

1. THE REPAIRS OUTLINED BELOW ARE GENERAL GUIDELINES AND EACH SINKHOLE OCCURRENCE SHOULD BE THOROUGHLY REVIEWED BY THE GEOTECHNICAL ENGINEER OF RECORD FOR AN APPROPRIATE REMEDIATION PLAN:

STRUCTURAL AREAS (AREAS WITHIN THE BUILDING FOOTPRINT OR BENEATH PAVEMENT)

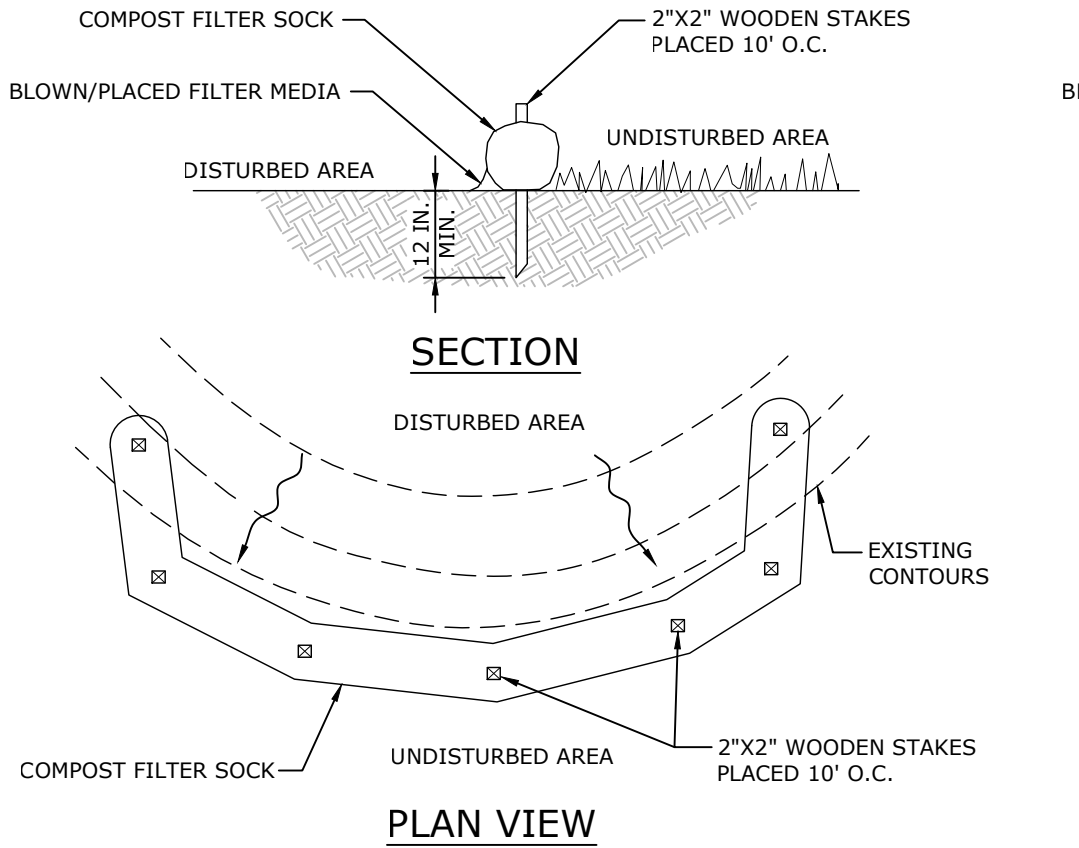
- ANY AND ALL LOOSE AND/OR SATURATED SOILS WITHIN THE SINKHOLE SHOULD BE EXCAVATED AND CONTINUE UNTIL STABLE SOILS, A "THROAT" IS IDENTIFIED, OR UNTIL THE EXTENT OF THE EXCAVATION EQUIPMENT IS REACHED.
- UPON REMOVAL OF THE UNSTABLE SOILS, THE EXCAVATION SHOULD BE BACKFILLED USING HIGH MOBILITY, LOW STRENGTH FLOWABLE FILL (500 PSI) TO FINAL SUBGRADE ELEVATION.

NON-STRUCTURAL AREAS (NON-BUILDING/LANDSCAPED AREAS)

- ANY AND ALL LOOSE AND/OR SATURATED SOILS SHOULD BE EXCAVATED FROM THE SINKHOLE. EXCAVATION SHOULD CONTINUE UNTIL STABLE SOILS, A "THROAT" IS IDENTIFIED, OR UNTIL THE EXTENT OF THE EXCAVATION EQUIPMENT IS REACHED.
- THE EXCAVATION SHOULD BE BACKFILLED WITH AGGREGATE OF DECREASING SIZE AS DEPicted ON THE INVERTED FILTER DETAIL.

SINKHOLE REPAIR DETAIL

NOT TO SCALE

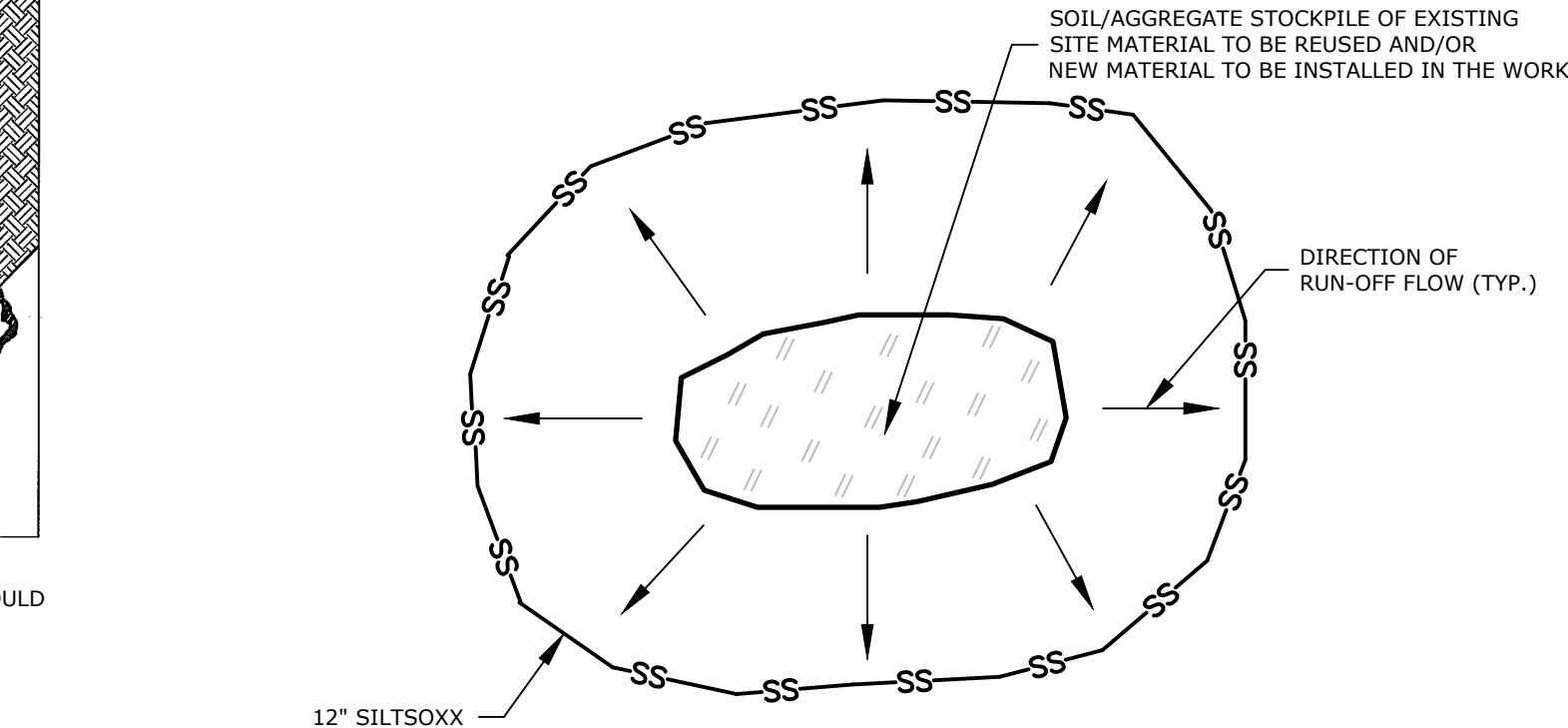


- NOTES:**
- SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.
 - COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.
 - TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.
 - ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
 - COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
 - BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
 - UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.
 - TO BE CONSTRUCTED WITH MATERIALS AND TECHNIQUES IN ACCORDANCE WITH THE EROSION AND SEDIMENT POLLUTION CONTROL MANUAL EFFECTIVE DATE MARCH 31, 2012 AS AMENDED. REFER TO TABLE 4.1 & 4.2 FOR FABRIC SPECIFICATIONS AND COMPOST STANDARDS.
 - A SUMP AREA MAY BE ADDED TO THE STANDARD COMPOST FILTER SOCK PLACEMENT AT THE DISCRETION OF THE CONTRACTOR.
 - A J-HOOK WITH SUMPED AREA MUST BE INSTALLED WHERE SPACE LIMITATIONS PREVENT THE PLACEMENT OF COMPOST FILTER SOCK AT LEVEL GRADE.

TABLE 4.2 COMPOST STANDARDS	
ORGANIC MATTER CONTENT	25% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
pH	5.5 - 8.5
MOISTURE CONTENT	30% - 60%
PARTICLE SIZE	30% - 50% PASS THROUGH 3/8" SIEVE
SOLUBLE SALT CONCENTRATION	5.0 DS/M (MMHOS/CM) MAXIMUM

STANDARD CONSTRUCTION DETAIL #4-1 COMPOST FILTER SOCK

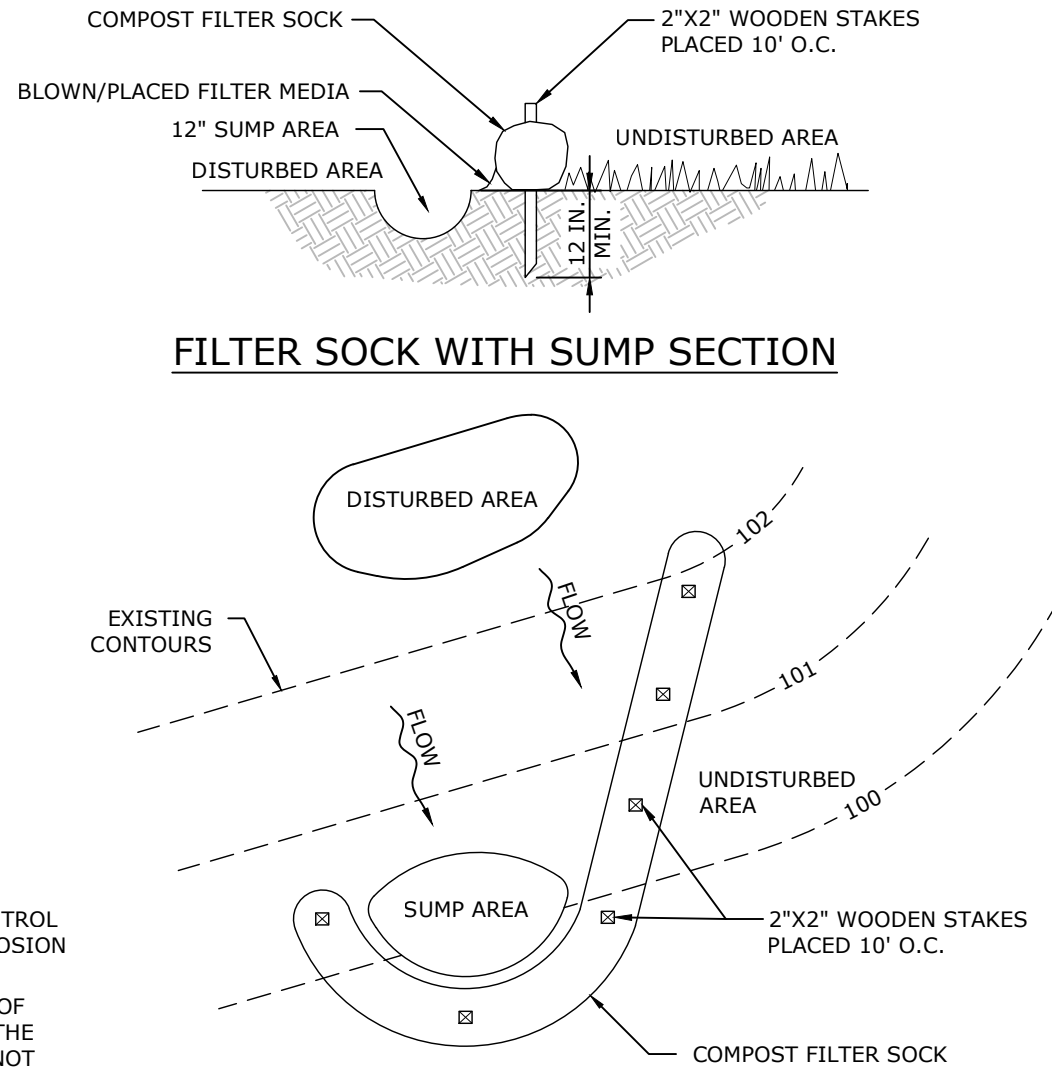
NOT TO SCALE



- NOTES:**
- ALL EXISTING EXCAVATED MATERIAL THAT IS NOT TO BE REUSED IN THE WORK IS TO BE IMMEDIATELY REMOVED FROM THE SITE AND PROPERLY DISPOSED OF.
 - SOIL/AGGREGATE STOCKPILE SITES TO BE WHERE SHOWN ON THE DRAWINGS.
 - RESTORE STOCKPILE SITES TO PRE-EXISTING PROJECT CONDITION AND RESEED AS REQUIRED.

TEMPORARY TOPSOIL STOCKPILE

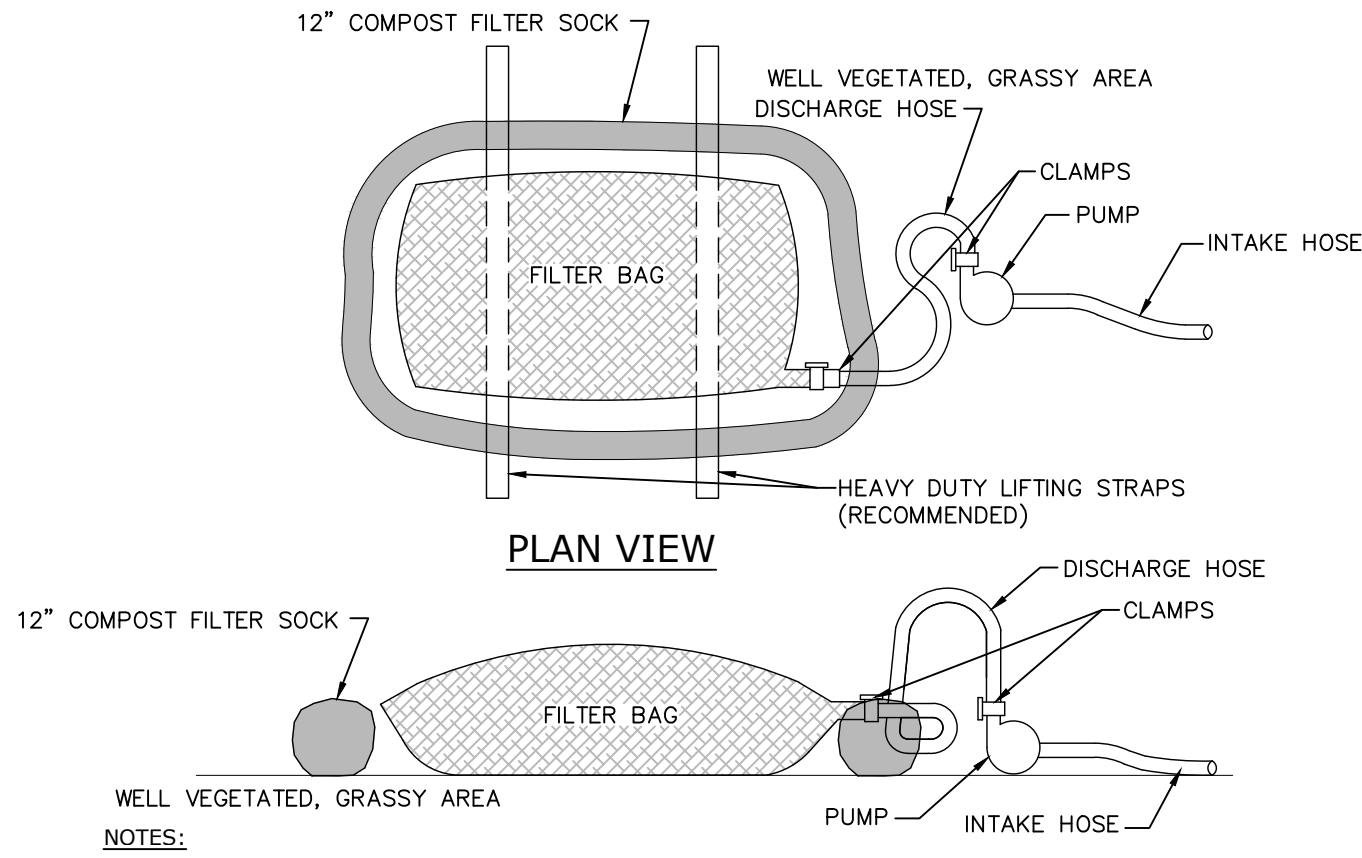
NOT TO SCALE



J-HOOK PLACEMENT

TABLE 4.1 COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS					
MATERIAL TYPE	3 MIL HDPE	5 MIL HDPE	5 MIL HDPE	MULTI-FILAMENT POLYPROPYLENE (MFPF)	HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE (HDMFPF)
MATERIAL CHARACTERISTICS	PHOTO- DEGRADABLE	PHOTO- DEGRADABLE	BIO- DEGRADABLE	PHOTO- DEGRADABLE	PHOTO- DEGRADABLE
SOCK DIAMETERS	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"
MESH OPENING	3/8"	3/8"	3/8"	3/8"	1/8"
TENSILE STRENGTH		26 PSI	26 PSI	44 PSI	26 PSI
ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM G-155)	23% AT 1000 HR.	23% AT 1000 HR.		100% AT 1000 HR.	100% AT 1000 HR.
MINIMUM FUNCTIONAL LONGEVITY	6 MONTHS	9 MONTHS	6 MONTHS	1 YEAR	2 YEARS
TWO-PLY SYSTEMS					
INNER CONTAINMENT NETTING			HDPE BIAXIAL NET		
			CONTINUOUSLY WOUND		
			FUSION WELDED JUNCTURES		
			3/4" X 3/4" MAX. APERTURE SIZE		
OUTER FILTRATION MESH			COMPOSITE POLYPROPYLENE FABRIC		
			(WOVEN LAYER AND NON-WOVEN FLEECE MECHANICALLY FUSED VIA NEEDLE PUNCH)		
			3/16" MAX. APERTURE SIZE		
SOCK FABRICS COMPOSED OF BURLAP MAY BE USED ON PROJECTS LASTING 6 MO. OR LESS					

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LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS, WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%. FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

TO BE CONSTRUCTED WITH MATERIALS AND TECHNIQUES IN ACCORDANCE WITH THE EROSION AND SEDIMENT POLLUTION CONTROL MANUAL EFFECTIVE DATE MARCH 31, 2012 AS AMENDED.

ALTERNATIVE CONSTRUCTION DETAIL PUMPED WATER FILTER BAG

NOT TO SCALE

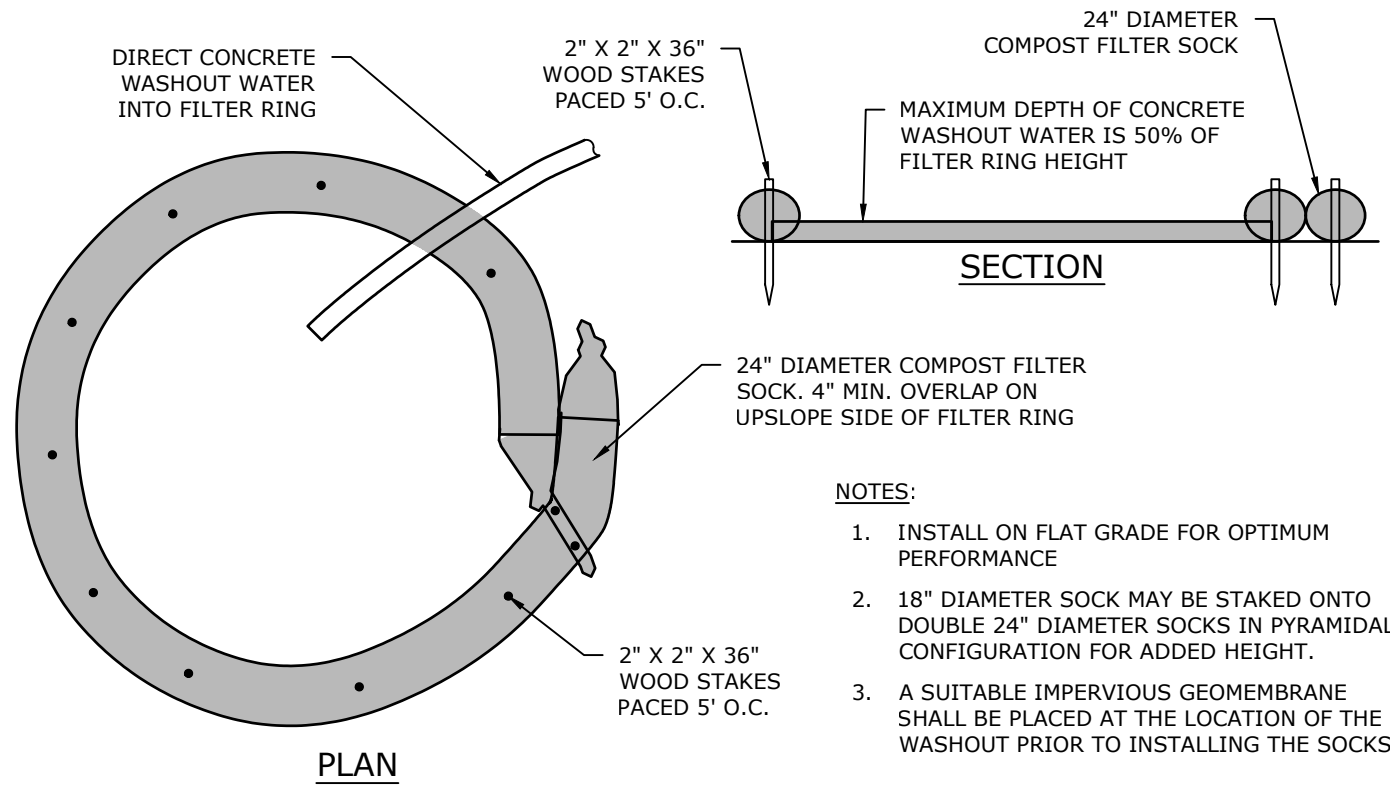


FIGURE 3.18
TYPICAL COMPOST SOCK WASHOUT
INSTALLATION

NOT TO SCALE

NOTES:

1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE
2. 18" DIAMETER SOCK MAY BE STAKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.
3. A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE SOCKS

PROFESSIONAL SEAL

SCALE: AS SHOWN
DATE: JANUARY 2, 2025
K&W PROJECT: 2003.089
DRAWN BY: PKS
CAD DRAWING: 2003089-1.dwg
2003089-1.dwg DETAILS.dwg

REVISIONS		DATE	DESCRIPTION
NO.			REVISED PER COMMENT LETTER
1		02/21/2025	
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PLAN TYPE:

E&S

DETAILS

SHEET:

C-703





COOPERSTOWN ELEMENTARY SCHOOL



COOPERTOWN ELEMENTARY SCHOOL





















TOWNSHIP OF
HAVERFORD

DELAWARE COUNTY
1014 DARBY ROAD
HAVERTOWN, PA 19083-2551
(610) 446-1000

JUDY TROMBETTA, PRESIDENT
KEVIN MCCLOSKEY, ESQ., VICE PRESIDENT
DAVID R. BURMAN, TWP MANAGER/SECRETARY
AIMEE CUTHBERTSON, CPA, ASS'T TWP MANAGER
JOHN F. WALKO, SOLICITOR
PENNONI ASSOCIATES INC., ENGINEER

WARD COMMISSIONERS
1ST WARD BRIAN D. GONDEK, ESQ.
2ND WARD SHERYL FORSTE-GRUPP, PHD.
3RD WARD KEVIN MCCLOSKEY, ESQ.
4TH WARD JUDY TROMBETTA
5TH WARD LAURA CAVENDER
6TH WARD LARRY HOLMES, ESQ.
7TH WARD CONOR QUINN
8TH WARD GERARD T. HART, MD
9TH WARD MICHAEL MCCOLLUM

HAVTT 30262

February 26, 2025

Jaime Jilozian, Director of Community Development
Haverford Township
1014 Darby Road
Havertown, PA 19083-2251

**RE: Preliminary/Final Land Development Plan
Coopertown Elementary School Additions/Renovations- 2nd Review**

Dear Ms. Jilozian:

As requested, we have reviewed the following information prepared by K&W Engineers submitted for the referenced project:

- *"Preliminary/Final Land Development Plan"* (29 sheets) dated January 2, 2025, last revised February 21, 2025.
- *"Post-Construction Stormwater Management Narrative and Calculations"* dated January 2, 2025, last revised February 21, 2025.
- *"Site Plan- Lighting"* dated February 21, 2025.
- Supporting documentation

The Applicant, Haverford Township School District, proposes to construct three (3) building additions and new play area at Coopertown Elementary School. A new access drive from Coopertown Road and several new parking spaces are also proposed. A subsurface stormwater management system is proposed for stormwater management. The property is located within the INS-Institutional Zoning District and is serviced by public water and sanitary sewer.

The applicant is requesting the following waivers:

- From §160-3.B regarding the requirement for preliminary plan submission.
- From §160-4.E(5)[b] regarding the requirements to indicate property lines, other subdivisions or land developments, and zoning boundaries within 2,000 feet of the site.
- From §160-4.E(5)[e](3) regarding the requirement to show the location, names and widths of streets, curbs and pavement, all property lines and names of owners of tracts or parcels located within 200 feet of the site.

A HOME RULE MUNICIPALITY

- From §160-4.E(5)[e](4) regarding the requirement to indicate all storm drainage, sanitary sewer and public water supply lines of facilities within 400 feet of the site.
- From §160-5.B(4)[a] regarding the requirement to install curb on existing streets.

The applicant is requesting the following zoning relief:

- From §182-602.B(2)[b] requiring conditional use in the INS Institutional Zoning District for public or private educational institutions, including colleges, elementary and secondary schools and nursery schools, but not including business or trade schools, dance studios, or similar facilities.
- From §182-708.A(1) requiring off-street loading and unloading spaces(s) with proper and safe access from a street or alley be provided on each lot used for commercial or other purposes where it is deemed that such facilities are necessary to adequately serve any such use within the district.
- From §182-708.A(1)[d] requiring that no loading space be permitted within the require front yard setback from any street.
- From §182-708.A(4) requiring that no truck be allowed to stand in a right-of-way of automobile parking area, including aisles, during any time in which any such area is used for parking or in any way block the flow of persons or vehicles.

The following comments remain outstanding from our January 30, 2025 review letter:

ZONING:

1. Existing and proposed building cover should be included in the zoning data table. (182-602.C) **Addressed. The applicant should note that the proposed impervious coverage will be nearly at the maximum allowable with the proposed improvements.**
2. In all Institutional districts, there shall be a front yard landscape strip, planted and landscaped subject to the approval of the Shade Tree Commission. (§182-718.B(1)[c])
3. **Addressed.**

SUBDIVISION AND LAND DEVELOPMENT:

4. **Addressed.**
5. **Addressed.**
6. Sight distance should be provided for all driveways at the posted speed limit. (§160-4.E(5)[g](12)) **Partially addressed. The sight distances provided on sheet C103.1 is inconsistent with that indicted on sheet C103.3.**
7. **Addressed.**
8. Curb shall be provided for all existing streets. (§160-5.B(4)[a]) **The applicant has requested a waiver from this requirement.**

9. **Addressed.**

10. **Addressed.**

11. For any new nonresidential development involving one (1) acre or more land shall be required to be set aside for open space and/or parks and recreational facilities, or a fee-in-lieu provided. (§160-5.C(2), §160-4.C(4)) **The applicant has indicated that a fee-in-lieu of the open space requirement will be provided.**

12. A Sewage facilities planning module or exemption will be required (§160-4.E(5[d])).

STORMWATER MANAGEMENT:

13. Additional information should be provided in the stormwater management calculations, including the pond report for the proposed stormwater facility and summary sheets for each design storm. (§78-26.C(1)[b]) **The drainage area maps should more clearly define subareas corresponding to hydrographs included in the stormwater management report. Subareas delineated on the drainage area maps should be combined when possible. Additionally, the pipe report should be revised to indicate the capacities of pipes flowing full.**

14. **Addressed.**

15. Areas proposed for infiltration are to be protected from compaction during construction. (§78-32.E(1)) **The applicant has indicated that a note has been added to the plans. In addition, the fencing should be indicated on the plan.**

16. **Addressed.**

17. **Addressed.**

GENERAL:

18. Regarding the lighting (Township Design standards):

a. **Addressed**

b. **Addressed**

c. Verify compliance with Township design standards for full cutoff fixtures, extinguishment of light sources between one hour after close of business and dawn and minimum lighting levels for safety and security. **Partially addressed. The applicant should address the requirement for extinguishment of the light sources/minimum lighting levels for safety/security.**

19. **Addressed.**

20. A Highway Occupancy permit required for proposed drive from Coopertown Road and all work within PennDOT's right-of-way. (§160-5.B(3)[k])

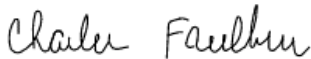
21. Further detail should be provided for the new lateral connection to the existing sanitary sewer on Coopertown Road. **Two new lateral connections are proposed. The following apply to these connections:**

- a. **For the lateral connection at the south end: Information of the size and material of both the new lateral and existing sewer main should be provided, in addition to a detail for the connection of the lateral to the existing main. Also, the lateral appears to be very close to existing mature trees on the road. Lastly, a PennDOT permit will be required for this installation.**
 - b. **For the lateral connection at the north end: The size of the existing lateral should be indicated. In addition, the condition of the existing lateral should be investigated to determine if any remedial work is necessary.**
 - c. **Provide a paving restoration detail on a state highway.**
22. Evidence of approval of an NPDES permit from the Delaware County Conservation District is required prior to construction. (§160-4.F(2)[b])
23. If approved, a Grading, Drainage, Soil Erosion and Sedimentation Control Permit will be required.
24. A BMP Maintenance Agreement shall be executed and a contribution to the Township Stormwater Control and BMP Operation and Maintenance Fund shall be made (§78-49; §78-51).

Should you have any questions or comments, please feel free to contact the undersigned.

Sincerely,

PENNONI



Charles Faulkner, PE
Senior Engineer

CF/brg

cc: Carolyn DuBois, RLA, K&W Engineers (via email)
Maureen Reusche, Haverford Township School District (via email)

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SHADE TREE COMMISSION MEMO



DATE: 2/1/25

TO: Jaime Jilozian, Director of Community Development, Haverford Township
Alexis De Santi, Special Projects Coordinator, Haverford Township

FROM: The Haverford Township Shade Tree Commission

RE: **LOCATION**
Coopertown Elementary School development review

Background:

The development team, landscape architect and engineer, presented the plan for tree removal and replacement at the Coopertown ES project to the STC on January 27, 2025. A small number (10) of smaller trees (no Heritage trees) are planned to be removed. Their replacement plan called for 37 trees to be planted. A good diversity of species was represented. The discussion focused on trees that would provide good shade in the future for the proposed playground area. It was suggested that Coopertown ES plant several large white oak trees like to on the back baseball field that is so well loved and if they are able to, plant more large shade trees in other locations of the property that would not interfere with school athletic and other outdoor functions. The Coopertown ES team was eager to comply with these suggestions.

Shade Tree Commission Recommendation:

The STC approved this plan as they have met the basic requirements. We assume that they will, in good faith, add several white oaks on the south side of the proposed playground as agreed. We would like to see an updated drawing showing those added oak trees but our approval to allow the start of their work does not depend on that.

Respectfully,

Jim Stephens, Chair
Haverford Township Shade Tree Commission

Township of Haverford

Resolution No. 2448-2025

Resolution For Preliminary/Final Subdivision and Land Development Plan Approval for the Caramanico Homes, LLC. For a Four-Lot Subdivision and Land Development Including Constructing Stormwater Management at 223 E. Park Road and 112 E. Township Line Road, Havertown

Whereas, Act 247 of 1968, the Pennsylvania Municipalities Planning Code, empowers the Haverford Township Board of Commissioners to regulate subdivisions and land developments within the Township; and

Whereas, Haverford Township desires orderly and appropriate land use and development to protect the health, safety, and welfare of residents; and

Whereas, The Caramanico Homes, LLC (“Applicant”) desires to consolidate two lots and subdivide into four-lots and develop the properties located at 223 E. Park Road and 112 E. Township Line Road, Havertown, PA, Delaware County, known as D.C. Folio Nos. 22-02-01078-00 and 22-02-00893-00 (“Property”) to construct two new single-family dwellings on lots 1 and 3 and associated shared drive and stormwater management systems (“Project”). The Property is zoned R-4 Residential District and is located in the 2nd Ward; and

Whereas, the Preliminary / Final Subdivision and Land Development Plan submitted for the Project was prepared by G.D. Houtman & Son, Inc., Media, PA, latest plan revision dated January 27, 2025 (“Plan”); and

Whereas, the Planning Commission of Haverford Township, at the public meeting of Thursday, March 13, 2025, voted to recommend approval of the Plan and the requested waivers subject to the comments contained within the February 25, 2025 review letter prepared by Pennoni Associates; and

Whereas, said Plan has been submitted to the Board of Commissioners of the Township of Haverford for consideration in accordance with the Pennsylvania Municipalities Planning Code and pursuant to the Haverford Township Subdivision and Land Development Regulations, Ordinance 1960, Chapter 160, Sections 4. A and B.

Now, Therefore, Be It Resolved by the Board of Commissioners of the Township of Haverford that the Plan is approved subject to the following conditions:

A. Conditions of Plan Approval.

1. The Applicant must ensure that the Plan addresses any outstanding comments in the February 25, 2025 Township engineer review letter prepared by Pennoni Associates. Further, the Applicant shall comply with future review letters related to future Plan revisions made in response to prior comments to the reasonable satisfaction of the Township Engineer.
2. The Applicant shall comply with the following conditions made subject to the Planning Commission recommendation on March 13, 2025 as follows:
 - The Applicant shall ensure that the Plan addresses any outstanding comments in the March XX, 2025 memorandum prepared by the Township Shade Tree Commission.
 - The Applicant shall install the shared driveway at least 3 feet or more from the side property line to ensure protection of the 30" dbh tree identified on the plan on the adjacent property.
 - The Applicant shall consider installation of a fence or some other visual buffer between the shared driveway and abutting properties.
 - The Applicant shall execute an easement for the sidewalk along the Township Line Road as it is outside of the Right-of-way.
3. A subsequent recordable final plan shall be submitted for internal Township review that addresses all Township Engineer review letter requests, further Plan details and clarifications, or revisions based upon the terms of this Resolution.
4. Applicant must comply with any applicable requirements of the, Pennsylvania Department of Environmental Protection, Pennsylvania Department of Transportation (including, but not limited to, obtaining any necessary Highway Occupancy Permits and Signal Permits required by PennDot), United States Environmental Protection Agency, or any other necessary outside agency, and obtain any necessary planning modules, approvals, or permits from such agencies, or enter into any required agreements such agencies require, before the Plan is recorded.
5. Pursuant to Section 78-51 of the Township Code, Applicant shall pay the required contribution to the Township Stormwater BMP Operation and Maintenance Fund in the amount calculated by the Township Engineer.
6. The conditions of this Resolution must be satisfied, and all fees and costs set forth in this Resolution shall be paid, before the issuance of a building permit for the Project.
7. Applicant must complete and record all required easements and/or maintenance agreements or declarations, including, but not limited to, a stormwater management facilities operation and maintenance agreement (requiring, in part, perpetual

maintenance of all stormwater management facilities installed according to the Plan by the landowner of the Property) in forms reasonably satisfactory to the Township Engineer and Township Solicitor prior to recording the Plan. Applicant will provide all necessary legal descriptions for any necessary easements.

8. New deeds for the subdivided lots must be approved by the Township Solicitor. The Applicant shall provide a legal description for the new lots and shall provide all necessary legal descriptions for any *necessary* easements or rights-of-way to the Township Engineer for the Township Engineer's review and approval.
9. Prior to recording the Plan, the Applicant shall execute a Land Development and Financial Security Agreement to guarantee the installation of all public improvements associated with the Project ("Improvements") on a form drafted by the Township Solicitor. Financial Security shall take the form of a cash escrow held by the Township, an irrevocable standby letter of credit in a form acceptable to the Township Solicitor, or a tri-party agreement in a form acceptable to the Township Solicitor. If Applicant were to post financial security in the form of a bond, the Township Solicitor shall have the unconditional right to review the bond and must approve the conditions and language of the bond. Further, the bond shall be issued by a "AAA" rate surety, or its equivalent, qualified to do business in Pennsylvania, and shall contain language stating that the bond is to be payable upon demand, absolutely, and unconditionally, and if payment is not made, that the bonding company shall be responsible for reasonable attorneys' fees and costs that are incurred to collect on the bond, plus interest at the annual rate of twelve (12%) percent, for so long as the bond remains unpaid. A bond or letter of credit is required to automatically renew annually until the Improvements detailed on the Plans are completed, any maintenance periods have passed, and the final release is issued by the Township, subject to partial releases being permitted in accordance with Pennsylvania Municipalities Planning Code. To ensure automatic renewal, a bond or letter of credit shall include a 90-day Evergreen Clause in a form acceptable to the Township Solicitor.
10. Financial security shall be posted in the amount of 110% of the total cost of the Improvements. The Applicant agrees that the Improvements shall include, but shall not be limited to, streets, parking areas, striping, drive aisles, curbs, water mains, sanitary sewer pipes, manholes and appurtenances thereto, stormwater facilities, rain gardens and appurtenances, grading, erosion and sediment controls, public lighting, required trees, shrubs, plantings and landscape buffering, monuments, pins, sidewalks, or other public improvements designated by the Township Engineer. For a period not less than 18 months after Township Engineer approval of the Improvements, financial security shall remain posted in the amount of 15% of the total cost of the Improvements that are to be dedicated to the Township, if any.

11. All outstanding Township fees, including review and recording costs and fees, Township Engineering fees, and Township legal fees, and any other professional fees associated with the review and approval of the application and Plan shall be paid in full before the Plan is recorded, in accordance with the Pennsylvania Municipalities Planning Code.
12. Prior to recording the Plan, and in addition to the financial security posted for the Project, Applicant shall deposit with the Township or otherwise establish a reasonable sum of monies with the Township, in an amount to be reasonably determined by the Township Engineer, as to be further described in the Land Development and Financial Security Agreement, for the reimbursement of the Township's reasonable engineering, inspection, legal, and related administrative costs and expenses related to the further reviews, inspections, and development of the Project, in accordance with the Pennsylvania Municipalities Planning Code.
13. A note shall be included on the final recorded Plan listing any waivers granted by the Board of Commissioners.
14. Except for the conditions and requirements placed upon the future development as specified in the Plan and herein, this Resolution shall not apply in any way to any future construction or land development on any lot or the consolidated lot. Upon any applicable construction or commencement of development on the consolidated lot, the Applicant will obtain any other necessary Township approvals, relief, and/or permits, and pay all applicable fees, unless additional relief is obtained.
15. The terms and conditions of this Resolution shall run with the land and shall apply to any assignee, transferee, or other successor in interest in the Property or the development of the Project. This Resolution or a memorandum of this Resolution may be recorded against the Property by the Township, or a subdivided portion of the Property, at the Township's sole discretion, to which the then-current landowner of the Property shall be deemed to have consented to such recording. Regardless of whether this Resolution is recorded, the Township shall have the right to enforce any violations of the conditions of this Resolution as a violation of the Township's Subdivision of Land Chapter and/or pursuant to Section 616.1 of the Pennsylvania Municipalities Planning Code.

B. Waivers. The Applicant has requested the following waivers from the Township's Subdivision of Land Chapter pursuant to a written waiver request. An indication that a waiver was granted reflects that the Township has determined that the Applicant has sufficiently established that the literal enforcement of the provision waived will exact undue hardship because of peculiar conditions pertaining to the land in question, and that the waiver is not contrary to the public interest or otherwise contrary to the purpose and intent of the Township Code, as demonstrated and explained by appearances of the

Applicant before the Board at public meetings and through the waiver request letter(s) submitted. A lack of indication of the decision on the waiver after the Township has executed this Resolution shall be interpreted to mean that the waiver was granted, unless the minutes of the associated Township meeting reflect otherwise:

1. From §160-5.B(3)[j](i) regarding the requirement to widen the existing rights-of-way of Township Line and Park Roads.

Granted _____ Denied _____

2. Partial waiver* from §160-5.C(4) regarding the requirement to provide open space. The waiver is hereby:

Granted _____ Denied _____

*A partial waiver is granted subject to the Applicant agreement to pay a fee-in-lieu of open space. The Applicant will pay a fee-in-lieu in the amount of \$13,390 for open space. Granting of this partial waiver by the Township does not preclude and shall not prevent the Township from seeking public improvement requirements in future land developments pertaining to the property.

This Resolution shall bind the Applicant, and the Applicant's successors and assigns. This Resolution does not and shall not authorize any construction of improvements or buildings exceeding those shown on the Plan. Furthermore, this Resolution, and the approvals/waiver and conditions contained herein, shall be rescinded automatically and deemed denied upon Applicant's failure to accept, in writing, all conditions herein imposed within ten (10) days of receipt of this Resolution, such acceptance to be evidenced by the Applicant's signature below. The Applicant understands that accepting the Plan conditions and failing to appeal any conditions, as drafted, within thirty (30) days of the approval date set forth below shall serve as a waiver of any such right to appeal and an acceptance of all conditions that, where applicable, shall bind future owners of the Property. The Applicant agrees that the interpretation of any conditions in this Resolution, if later challenged, shall be interpreted in favor of the Township.

Resolved and Approved this 14th day of April, 2025.

Township of Haverford

By: Judy Trombetta

President

Attest: David R. Burman
Township Manager

ACCEPTANCE OF CONDITIONS:

APPLICANT

I, _____, being the authorized representative for the Applicant, Caramanico Homes, LLC, do hereby acknowledge and accept the approval for the Plan issued by the Haverford Township Board of Commissioners and accept the conditions of approval contained therein, including the conditions impacting the Property. By signing this Resolution, the Applicant is signifying acceptance of the conditions of approval contained herein and the conditions established for the Property.

APPLICANT: CARAMANICO HOMES, LLC

By: _____

Print: _____

Date: _____

WITNESS:

Name: _____

Date: _____

LANDOWNER

I, William Gustafson, the Landowner of the Property, do hereby acknowledge and accept the approval for the Plan issued by the Haverford Township Board of Commissioners and accept the conditions of approval contained therein, including the conditions impacting the Property. By signing this Resolution, the Landowner is signifying acceptance of the conditions of approval contained herein and the conditions established for the Property, as a condition of the subdivision of the Property.

By: _____

William Gustafson

Date: _____

WITNESS:

Name: _____

Date: _____

The Applicant hereby acknowledges that any revision to the approved SWM site plan must be approved by the Municipality and that a revised erosion and sediment control plan must be submitted to the Conservation District for a determination of adequacy.

Present Owner

Date

Zbigniew A. Stracki
108 Township Line Road

Robert J. Daniel
111 Llanadoff Rd

Michael J. Sheehan
113 Llanadoff Rd

Anne Rose Schulman
219 E. Park Ave

CORPORATE ACKNOWLEDGMENT FOR PLAN

COMMONWEALTH OF PENNSYLVANIA : SS
COUNTY OF DELAWARE

On this ____ day of _____, 20____, before me the undersigned, personally appeared _____, who being duly sworn according to law, acknowledged himself/herself to be _____, and that he/she, as such officer duly authorized to do so, deposes and says that _____, is the owner of the property shown on this Plan, that this Plan was made at the direction of the Corporation and the Corporation acknowledges the same to be its act and Plan and desires the same to be recorded as such according to law.

Witness my hand and seal the day above written.

Corporate Name: _____

By: _____

Title: _____

Notary Public: _____

My Commission Expires: _____

APPROVED THIS ____ DAY OF _____
BY THE HAVERFORD TOWNSHIP BOARD OF COMMISSIONERS

PRESIDENT

MEMBER

REVIEWED THIS ____ DAY OF _____
BY THE HAVERFORD TOWNSHIP PLANNING COMMISSION

PRESIDENT

MEMBER

REVIEWED THIS ____ DAY OF _____
BY THE HAVERFORD TOWNSHIP ENGINEER

Impervious Coverage Tabulation - Proposed

	Lot 1	Lot 2	Lot 3	Lot 4
Dwelling	1,800 s.f.	1,375 s.f.	1,800 s.f.	1,430 s.f.
Driveway	1,310 s.f.	1,615 s.f.	1,480 s.f.	400 s.f.
Walkways	55 s.f.	405 s.f.	75 s.f.	490 s.f.
Total	3,165 s.f.	3,395 s.f.	3,355 s.f.	2,320 s.f.

Impervious Coverage Tabulation - Existing

	22-02-01078-00 112 E. Township Line	22-02-00893-00 223 E. Park Road
Dwelling & Porch	1,375 s.f.	1,427 s.f.
Detached Garage	376 s.f.	431 s.f.
Driveway	2,415 s.f.	2,920 s.f.
Walkways/Patio	642 s.f.	674 s.f.
Total	4,808 s.f.	5,452

DESIGN ENGINEERS CERTIFICATIONS:

- I hereby certify that the Stormwater Management Site Plan meets all design standards and criteria of the Haverford Township Stormwater Management Ordinance.
- The proposed grading activities shall not significantly increase stormwater runoff to, and/or otherwise adversely impact, downstream properties except as may be part of an approved Stormwater Management Plan (as defined by Haverford Township Code).
- The accuracy of this plan and details are in accordance with Act 367, known as the Professional Engineers Registration Law (P.L. 913, No. 367.63 P.S. 151), as amended.

I, Gustave N. Houtmann, P.E., on this date hereby certify, to the best of my knowledge and belief, that they aforementioned statements and certifications are true and accurate.

(Signature & Seal)

Date

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

The information shown on this plan is the result of a professional service rendered by G.D. Houtman & Son, Inc. The reproduction of this plan without approval of G.D. Houtman & Son, Inc. is not permitted. The reproduction of a copy of this plan for the purpose of creating additional copies or revealing said plan shall, in no circumstance, be approved. Certification for the work contained herein is limited to the entity for whom the work was performed as of the date shown on the plans.

Note: All locations of existing utilities shown on the plan have been developed from existing utility records and / or above ground examination of the site. Completeness or accuracy of locations and depth of underground utilities or structures cannot be guaranteed. Contractor must verify location and depth of all underground utilities and facilities before start of work, as per PA Act 181 as per the latest amendment of PA Act 287 of 1974, Effective Mar. 29, 2007

POST CONSTRUCTION STORMWATER MANAGEMENT NOTES:

- Post development stormwater management facilities at the property consist of the following:
A. Underground stormwater Infiltration Bed.
- Maintenance responsibilities for all the the Stormwater facilities on the site, including the underground Stormwater Detention/Retention Basins and Underground Infiltration Bed, shall be that of the individual lot owner(s) on which the BMP's are located.
- Maintenance program:

A. Infiltration beds:

Infiltration beds shall be inspected on a Quarterly Basis

Debris Trap:

A sump area has been provided within each Inlet servicing the proposed seepage bed. The sump area of the inlet is the area between the bottom of the lowermost pipe in the inlet and the bottom of the Inlet Box. Inspect debris trap at the noted frequencies. Remove debris and sediment from the sump areas when it has reached a depth of eight (8) inches. Dispose sediment and debris in accordance with local ordinances.

Stone Infiltration Area:

Inspect stone infiltration area at the noted frequencies. Ensure that ponded water at infiltration bed is percolating properly. Monitor water level in seepage bed area by inspecting water level in debris traps. Water at infiltration bed location as viewed from debris trap should not stay ponded for more than 3 days. Stone and sediment shall be removed from clogged beds and replaced as necessary. Install new filter fabric at repaired areas.

PLAN LEGEND

- Sheet 1 - Record Plan
Sheet 2 - Existing Conditions Plan
Sheet 3 - Grading Plan
Sheet 4 - Sediment & Erosion Control Plan
Sheet 5 - Landscape Plan
Sheet 6 - Construction Details Plan

GENERAL NOTES:

- Tax Folio No. 22-02-01078-00 Tax Map No. 22-33-237.1 Deed of Record Bk 5683 Pg 1170 Existing Lot Area 0.428 Ac. Gross
22-02-00893-00 22-34-560.0 Bk 0992 Pg 1962 0.409 Ac. Gross
- Zoned R-4
Minimum Lot Size - 6,000 Sq.Ft.
Minimum Lot Width -
at street - 38'
at building - 50'
Minimum Front Yard - 30'
Minimum Side Yard - 8'
Minimum Side Yard Aggr. - 20'
Minimum Rear Yard - 25'
Maximum Building Coverage - 30%
Maximum Impervious Coverage - 45%
- Township Line Road Route 1 is a State Highway thus a Highway Occupancy Permit (HOP) is required prior to any work being performed within the Highway Right-of-way limits.
- Site contains no Steep or Very Steep Slopes.
- Lots serviced by public water service and sewage disposal.
- Contours from field survey performed using Global Positioning System (GPS) Equipment. Elevation Per North American Vertical Datum of 1988. Project Benchmark - Rim of Bell M.H. at Lot 1.
- Rim El. = 232.77
- (■) Indicates concrete monument to be set at all boundary corners.
- Soils information from Soil Survey- Chester and Delaware Counties, Pennsylvania, Series 1959, No. 19, issued May 1963. The Soil Types are as follows:
GfB - Gladstone-Parker Complex; 0-8% Slopes
- Owner/Applicant: Caramanico Homes, LLC
13 Stratford Drive
Springfield, PA 19064
- There is no 100-Year Flood Plain on this site as shown on the Flood Insurance rate Map (FIRM), Delaware County, Pa, Panel 106 of 250, Map Number 42045C0102F - Map revised November 18, 2009
- Reference Plan:
- Addresses for the proposed lots are to be provided by the Township and or local post office.
- All substandard curb and sidewalk along the property frontages shall be replaced at the discretion of the Township Engineer.
- Work is scheduled to begin March '25 and completed in March '26
- Foundation as-built plans are required to be submitted to the Township for review and approval prior to the installation of framework at each of the housing sites.
- A payment in fee in-lieu of providing dedicated open space will be made by the Applicant prior to plan recording

REQUIRED RELIEF:

WAIVERS:

- 160-5 B.(3)(j)[1] Applicant is requesting a waiver for the requirement to widen the existing rights-of-way of Township Line and Park Roads.
- 160-5 C(4) - Applicant is requesting a waiver to provide payment in fee in-lieu of providing open space.

FINAL MINOR

RECORD PLAN
PREPARED FOR

CARAMANICO HOMES, LLC

HAVERFORD TOWNSHIP
DELAWARE COUNTY, PA

G.D. HOUTMAN & SON, INC.

CIVIL ENGINEERS-LAND SURVEYORS
LAND PLANNERS

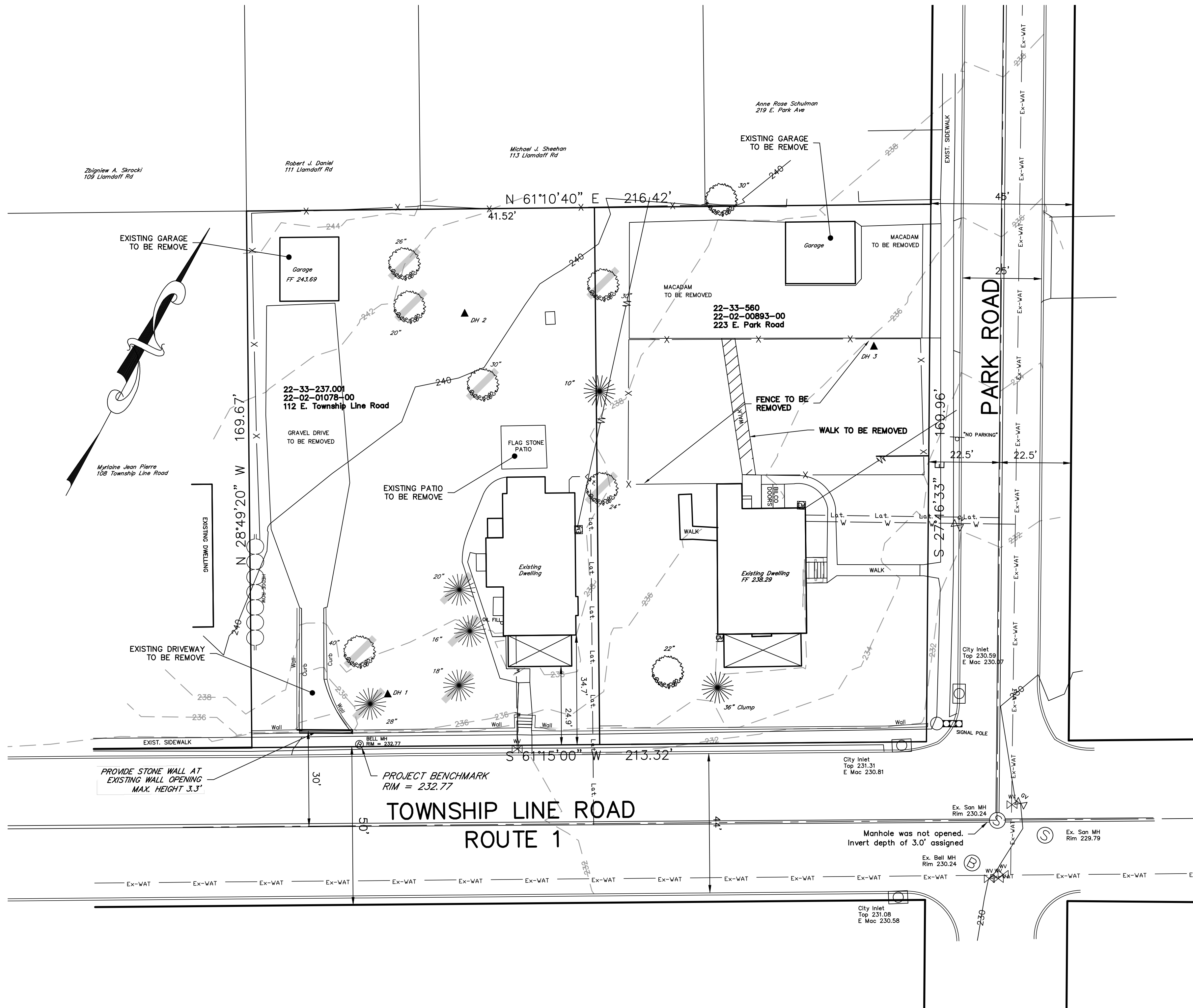
139 EAST BALTIMORE PIKE MEDIA, PA 19063
(610)565-8363

Sheet 1 of 6

PROJECT
Caramanico

WORK ORDER
40055

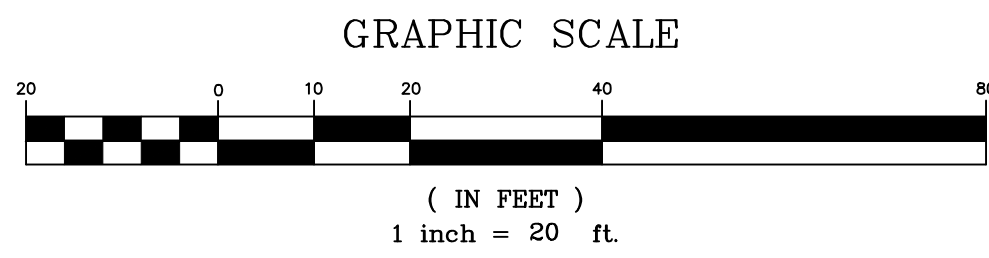
FILE
19730



- GENERAL NOTES:
- Tax Folio No. Tax Map No. Deed of Record Existing Lot Area
22-02-01078-00 22-33-237.1 Bk 5683 Pg 1170 0.428 Ac. Gross
22-02-00893-00 22-34-560.0 Bk 0992 Pg 1962 0.409 Ac. Gross
 - Zoned R-4 Minimum Lot Size - 6,000 Sq.Ft.
Minimum Lot Width - 38'
at street - 50'
at building - 30'
Minimum Front Yard - 8'
Minimum Side Yard - 20'
Minimum Side Yard Aggr. - 25'
Minimum Rear Yard - 30%
Maximum Building Coverage - 45%
Maximum Impervious Coverage - 45%
 - Boundary, Topography and Locations From Field Survey by G.D. Houtman & Son, Inc.
 - Township Line Road Route 1 is a State Highway thus a Highway Occupancy Permit (HOP) is required prior to any work being performed within the Highway Right-of-way limits.
 - Each of the Lots will be provided with sufficient parking spaces as required by the Zoning Ordinance.

	Impervious Coverage Tabulation	
	Existing	
	22-02-01078-00 112 E. Township Line	22-02-00893-00 223 E. Park Road
Dwelling & Porch	1,375 s.f.	1,427 s.f.
Detached Garage	376 s.f.	431 s.f.
Driveway	2,415 s.f.	2,920 s.f.
Walkways/Patio	642 s.f.	674 s.f.
Total	4,808 s.f.	5,452

- LEGEND
- EXISTING FIRE HYDRANT
 - EXISTING UTILITY POLE
 - EXISTING WATER VALVE
 - EXISTING WATER SERVICE
 - EXISTING SANITARY LATERAL
 - EXISTING GAS VALVE
 - EXISTING DECIDUOUS TREE
 - EXISTING EVERGREEN TREE
 - EXISTING TREE TO BE REMOVED
 - EXISTING SHRUB LINE
 - EXISTING 2' CONTOUR
 - EXISTING 10' CONTOUR
 - SOIL BOUNDARY LINE
 - EXISTING "CITY" INLET
 - EXISTING SANITARY MANHOLE
 - EXISTING SANITARY SEWER
 - EXISTING FENCES



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DATE	REVISION
12/09/24	Revised Layout - Lots 1 & 2
01/27/25	60' Width Twp Engineer Review, Waiver Requests

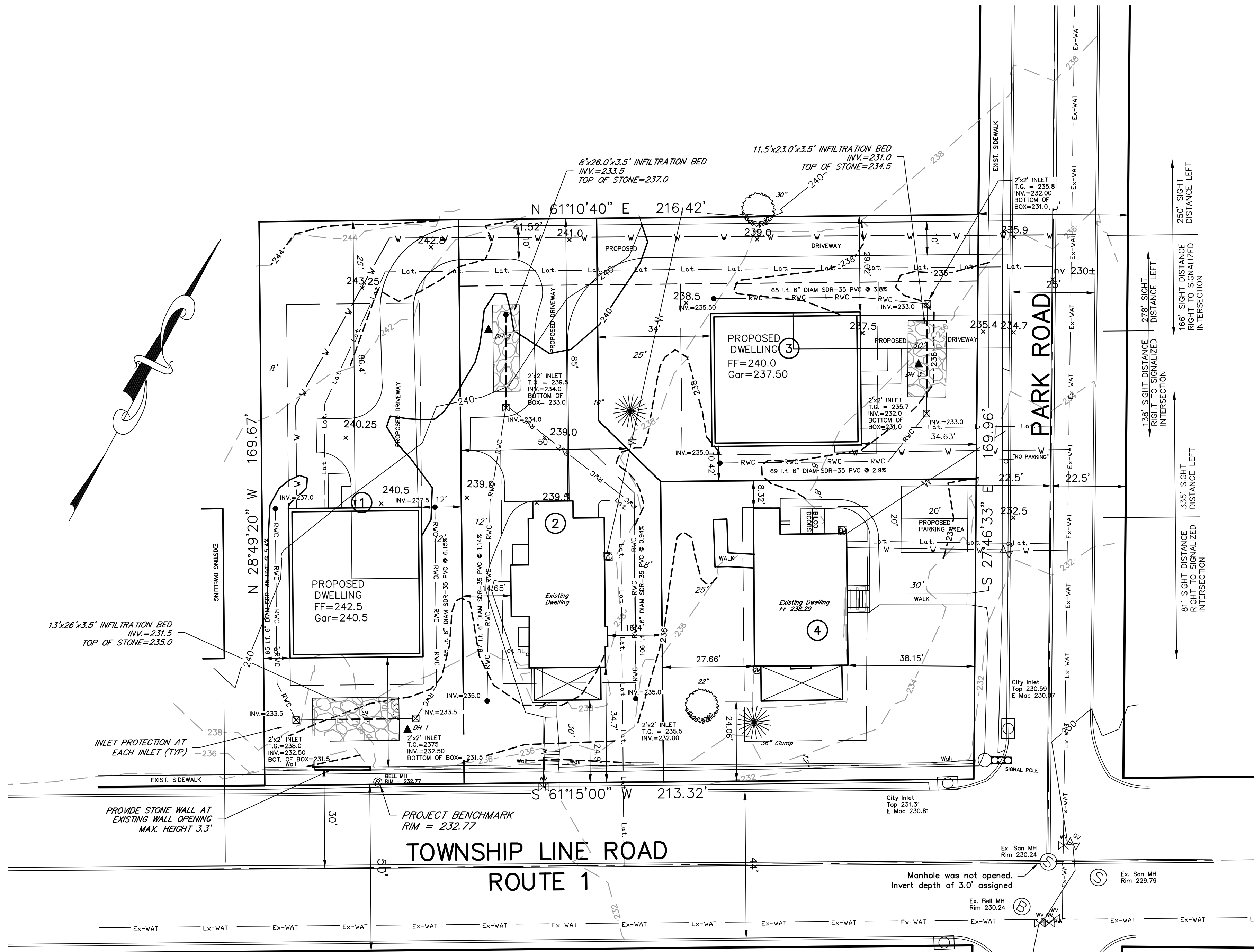
SCALE
1" = 20'
DATE
October 31, 2024

FINAL

PRE-DEVELOPED DRAINAGE AREA PLAN
PREPARED FOR
CARAMANICO HOMES, LLC
HAVERFORD TOWNSHIP
DELAWARE COUNTY, PA

G.D. HOUTMAN & SON, INC.
CIVIL ENGINEERS-LAND SURVEYORS
LAND PLANNERS
139 EAST BALTIMORE PIKE MEDIA, PA 19063
(610)565-6363

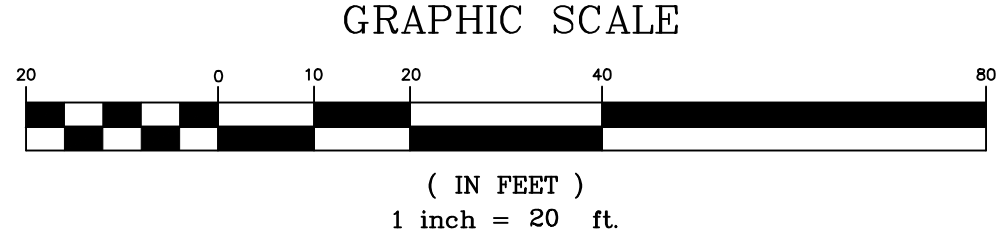
Sheet 2 of 6
PROJECT
CARAMANICO-TWP LINE
WORK ORDER
40055
FILE
19730



- GENERAL NOTES:
1. Tax Folio No. 22-02-01078-00 Tax Map No. 22-33-237.1 Deed of Record Bk 5683 Pg 1170 Existing Lot Area 0.428 Ac. Gross
22-02-00893-00 22-34-560.0 Bk 0992 Pg 1962 0.409 Ac. Gross
 2. Zoned R-4
Minimum Lot Size 6,000 Sq.Ft.
Minimum Lot Width at street 38'
at building 50'
Minimum Front Yard 30'
Minimum Side Yard 8'
Minimum Side Yard Aggr. 20'
Minimum Rear Yard 25'
Maximum Building Coverage 30%
Maximum Impervious Coverage 45%
 3. The existing improvements shown on this Plan were obtained from aerial photographs provided by Google Earth
 4. Township Line Road Route 1 is a State Highway thus a Highway Occupancy Permit (HOP) is required prior to any work being performed within the Highway Right-of-way limits.
 5. Each of the Lots will be provided enough parking spaces as required by the Zoning Ordinance.

- LEGEND
- EXISTING FIRE HYDRANT
 - EXISTING UTILITY POLE
 - EXISTING WATER VALVE
 - EXISTING WATER SERVICE
 - EXISTING SANITARY LATERAL
 - EXISTING GAS VALVE
 - EXISTING DECIDUOUS TREE
 - EXISTING EVERGREEN TREE
 - EXISTING TREE TO BE REMOVED
 - EXISTING SHRUB LINE
 - EXISTING 2' CONTOUR
 - EXISTING 10' CONTOUR
 - SOIL BOUNDARY LINE
 - EXISTING "CITY" INLET
 - EXISTING SANITARY MANHOLE
 - EXISTING SANITARY SEWER
 - EXISTING FENCES

- LEGEND
- PERCOLATION TEST LOCATION
 - PROPOSED CONTOUR 2' INTERVAL
 - PROPOSED CONTOUR 10' INTERVAL
 - PROPOSED WATER SERVICE LINE
 - PROPOSED GAS LINE
 - PROPOSED SANITARY SEWER LATERAL
 - ROOF LEADER PIPE
 - PROPOSED SANITARY SEWER LATERAL CLEAN-OUT
 - PROPOSED 2'X2" INLET




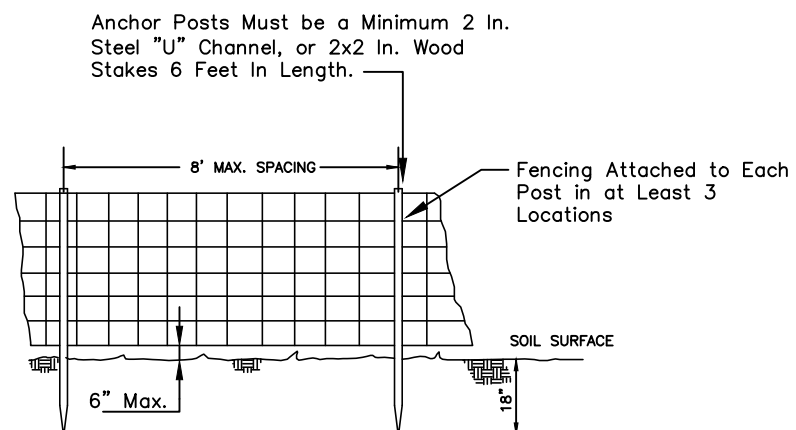
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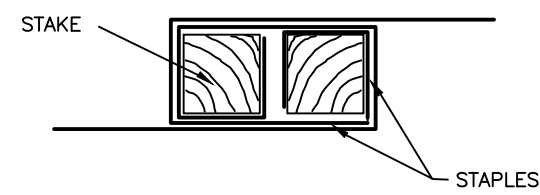
DATE		REVISION		SCALE		GRADING PLAN PREPARED FOR CARAMANICO HOMES, LLC HAVERFORD TOWNSHIP DELAWARE COUNTY, PA			
12/09/24		Revised Layout -- Lots 1 & 2		1" = 20'					
01/27/25		60' Width Twp Engineer Review, Waiver Requests		DATE October 31, 2024					
						G.D. HOUTMAN & SON, INC. CIVIL ENGINEERS--LAND SURVEYORS LAND PLANNERS 139 EAST BALTIMORE PIKE MEDIA, PA 19063 (610)565-6363			
						Sheet 3 of 6		PROJECT CARAMANICO--TWP LINE	
								WORK ORDER 40055	
								FILE 19730	



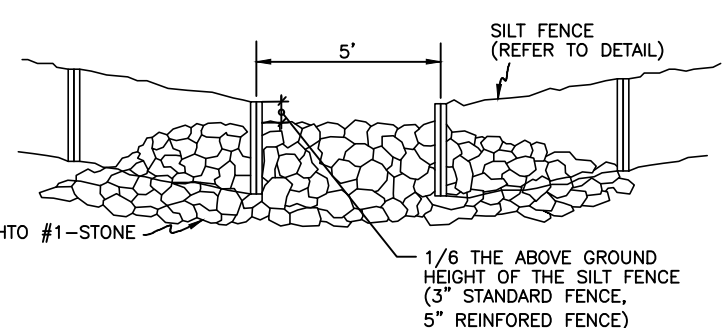
NOTES:

- Protection barrier to be installed at the d/rline of proposed individual trees and protected forested areas.
- Anchor post to be driven into the ground at least 18 inches.
- Provide a maximum clearance between the protection barrier fencing and the ground surface of 6 inches.
- Protection barrier shall be 4 feet high, constructed of durable and highly visible material (Plastic orange construction fence and snow-fence may be used).
- Protection barriers shall be maintained throughout the duration of the work at the site.
- Additional warning signs should also be placed on the fencing and in appropriate areas near the work zone.

TREE PROTECTION/CONSTRUCTION FENCING DETAIL

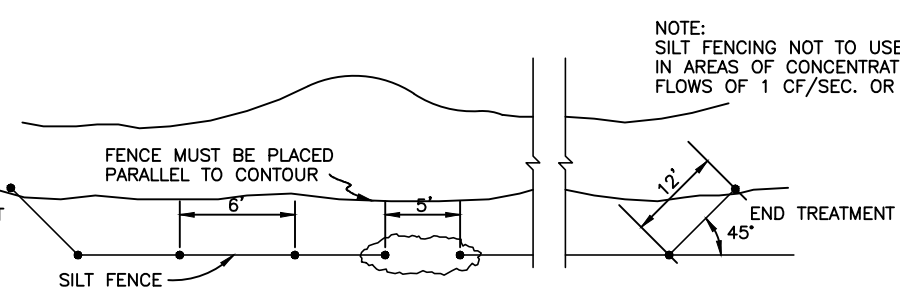


JOINING FENCE SECTIONS



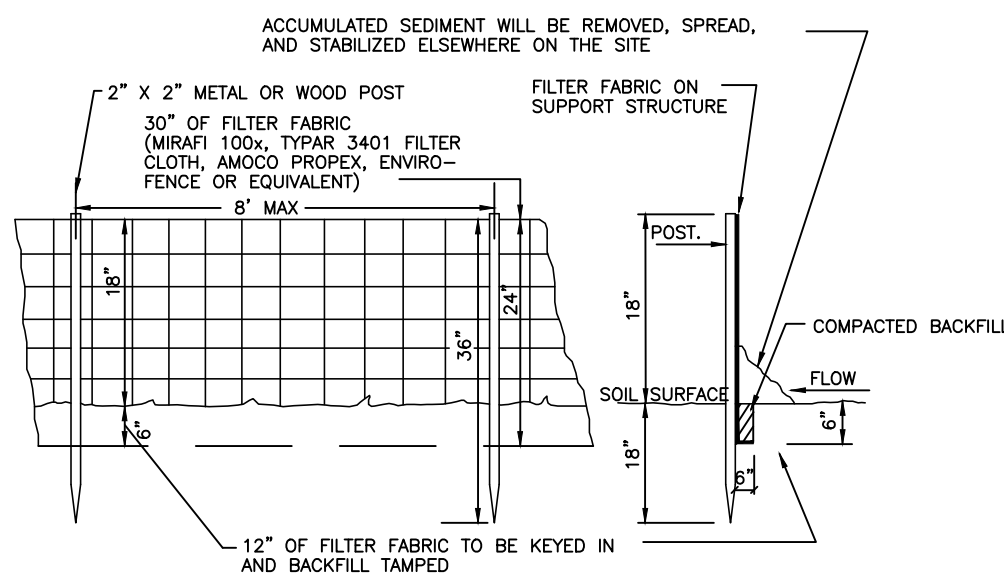
NOTE:
Rock Filter to be installed at Locations of Concentrated Flow and as Repairs to Existing Silt Fence Damaged by Storm Events.

ROCK FILTER OUTLET FOR SILT FENCE



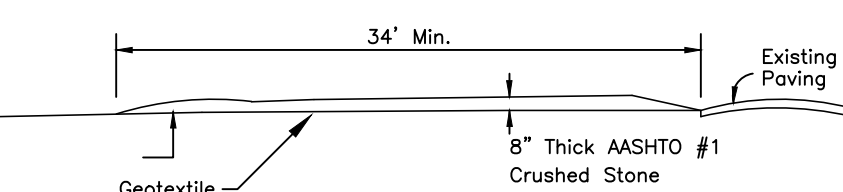
NOTE:
SILT FENCING NOT TO BE USED IN AREAS OF CONCENTRATED FLOWS OF 1 CF/SEC. OR GREATER.

TEMPORARY SILT FENCE INSTALLATION

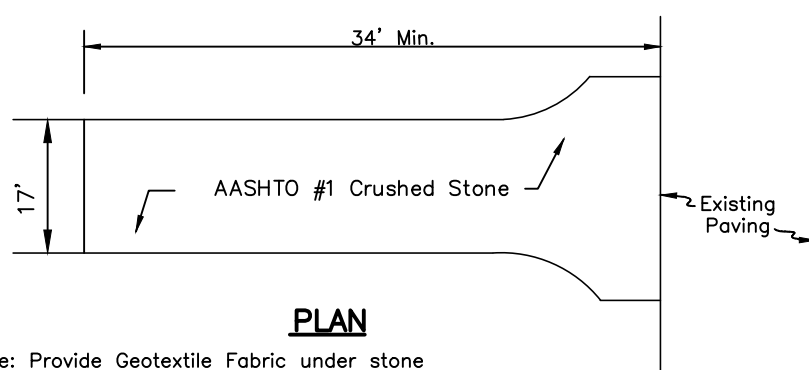


INSPECT SILT FENCING AFTER EACH STORM EVENT. REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES A DEPTH OF 1/2 THE FABRIC HEIGHT (MAXIMUM 12"). ANY SILT FENCING WHICH HAS BEEN TOPPED OR UNDERMINED SHALL BE REPLACED WITH ROCK FILTER OUTLETS IMMEDIATELY.

TEMPORARY SILT FENCE DETAIL



PROFILE



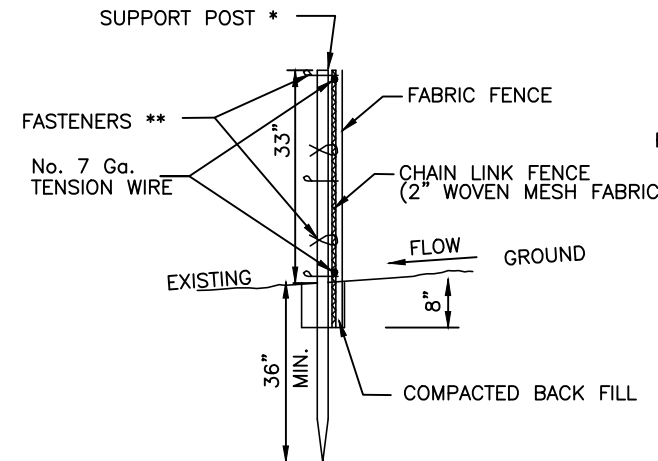
PLAN

Note: Provide Geotextile Fabric under stone

Maintenance Notes:
1. Rock Construction Entrance Thickness Shall Be Constantly Maintained To The Specified Dimensions By Adding Rock.
2. A Stockpile Shall Be Maintained On-Site For This Purpose.
3. At the End Of Each Construction Day, All Sediment Deposited On Paved Roadways Shall Be removed and Returned To the Construction Site.

CONSTRUCTION ENTRANCE - DETAIL

Note:
Rock Construction entrance to be adjusted for site conditions as necessary

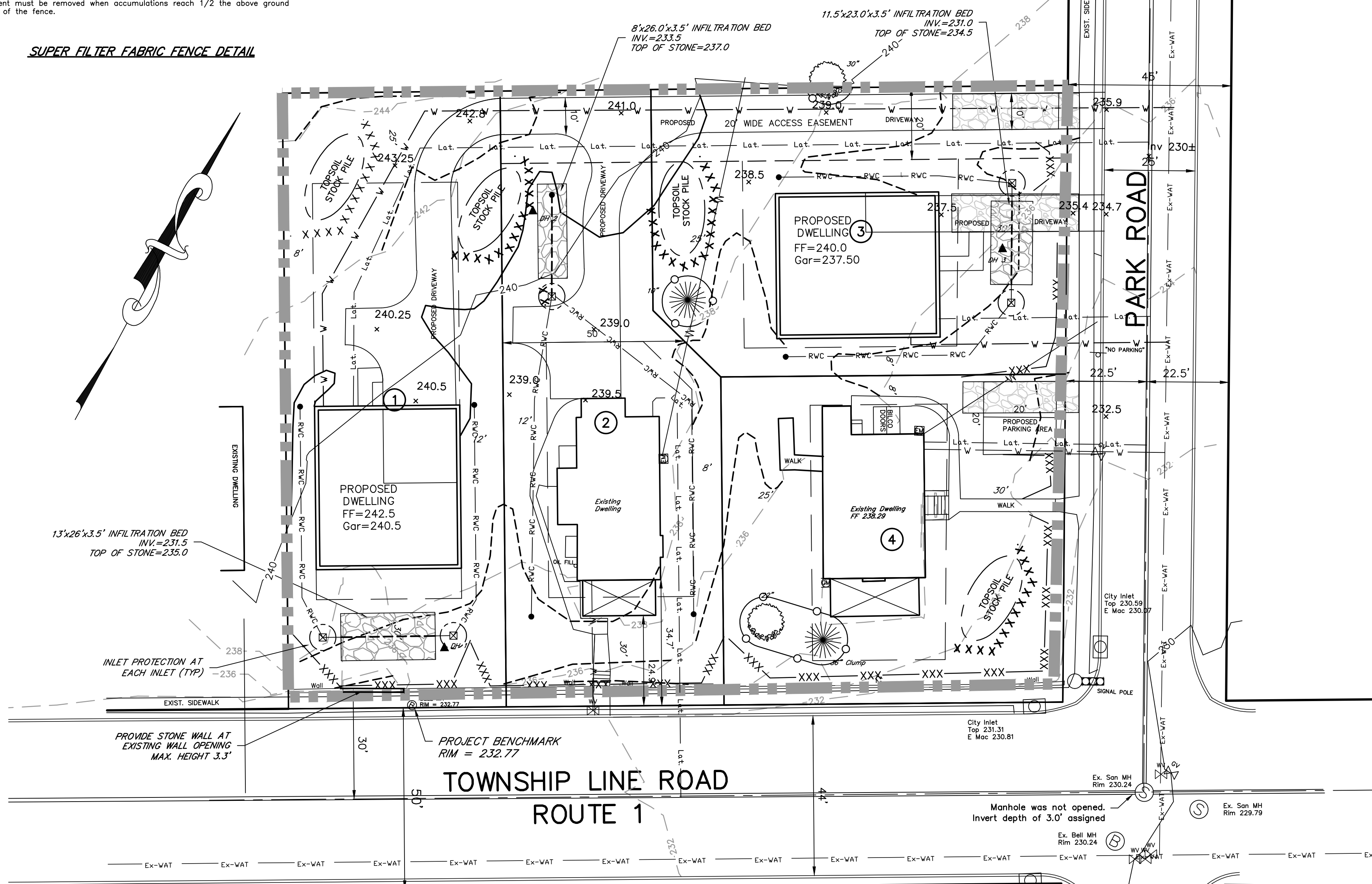


NOTE: NO. 7 GA. TENSION WIRE TO BE INSTALLED HORIZONTALLY AT TOP AND BOTTOM OF CHAIN LINK FENCE.

• Posts spaced @ 10' max. use 2 1/2" Dia. Galvanized or aluminum posts. Chain Link to post fasteners spaced @ 14" max. Use No. 6 Ga. aluminum wire or No. 9 steel galvanized perforated clips. Chain link to tension wire fasteners spaced @ 60" max. use No. 10 Ga. Galvanized steel wire. Fabric to chain link fasteners @ 24" max. C. to C.

Filter fabric fence must be placed at level grade, both ends of the barrier must be extended at least 8 feet up slope as 45 degrees to the main barrier alignment. Sediment must be removed when accumulations reach 1/2 the above ground height of the fence.

SUPER FILTER FABRIC FENCE DETAIL



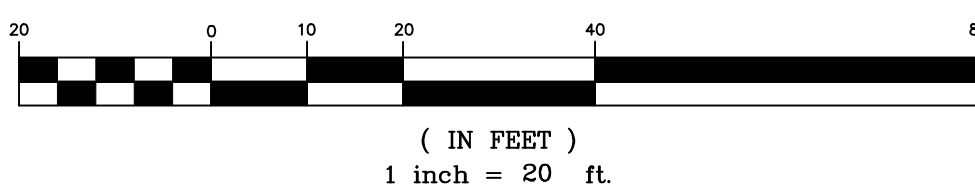
LEGEND

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- EXISTING GAS VALVE
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- EXISTING SANITARY SEWER
- EXISTING FENCES

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- PERCOLATION TEST LOCATION
- PROPOSED CONTOUR 2' INTERVAL
- PROPOSED CONTOUR 10' INTERVAL
- PROPOSED WATER SERVICE LINE
- PROPOSED GAS LINE
- PROPOSED SANITARY SEWER LATERAL
- ROOF LEADER PIPE
- PROPOSED SANITARY SEWER LATERAL CLEAN-OUT
- PROPOSED TREE PROTECTION/CONSTRUCTION FENCING
- PROPOSED SILT FENCE
- PROPOSED SUPER SILT FENCE
- LIMIT OF DISTURBANCE (32,390 S.F.)
- PROPOSED 2'x2" INLET
- CONSTRUCTION BARRIER FENCING

GRAPHIC SCALE



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Disturbed areas on which grading activities have ceased shall be stabilized immediately.

- Growing Season (March 15 through November 15)
 - Temporary Cover - for disturbed areas which are not at finished grade and which will be redisturbed within 1 year.
 - Site Preparation: Apply 2 ton/acre of Agricultural grade limestone, plus fertilizer 50-50-50 per acre (50 lbs of N, 50 lbs of P2O5 and 50 lbs of K2O) per acre and work in where possible.
 - Seeding: 50% Annual Ryegrass 50% Winter Rye. Apply at rate of 3 lb/1000 S.F.
 - Mulch: 3 tons per acre of small grain straw.
 - Permanent Cover - for disturbed areas at finish grade or will not be redisturbed within 1 year.
 - Site Preparation: Apply 3 tons/acre of Agricultural grade Limestone plus Fertilizer 100-200-200 (100 lbs of N, 200 lbs of P2O5 and 200 lbs of K2O) and work in where possible.
 - Seeding: 60% Kentucky Bluegrass 10% Perennial Ryegrass 30% Pennlawn Red Fescue Apply at rate of 4 lb/1000 S.F.
 - Mulch: 3 tons per acre of small grain straw.
- Non-germinating Period (Nov 15 through March 1)
 - Apply mulch (3 tons per acre of small grain straw) to disturbed areas.
 - Those areas that were stabilized by mulching only are to be limed, fertilized, seeded and mulched according to permanent or temporary seeding specifications within 20 days of the end of the non-germinating period.
- CRITICAL SLOPE PROTECTION TO BE USED ON SLOPES 3:1
 - Seedbed Preparation: Loosen Top 1 to 3 inches of Soil.
 - Site Preparation: Apply 2 Tons of Agricultural Grade Limestone Per Acre.
 - Treatment:
 - Broadcast Seed and Fertilizer With Hydroseeder.
 - Apply Straw With Blower at 3 Tons/Acre.
 - Anchor Straw With Mulch Binder.
 - Application: A Water-Slurry Mixture Composed of the Below Mentioned Materials Shall be Sprayed Uniformly Over Prepared Area.
 - Mowed Areas:
 - 80 Lb/Acre Winter Rye
 - 70 Lb/Acre Tall Fescue
 - 20 Lb/Acre Perennial Ryegrass
 - Non-Mowed Areas:
 - 80 Lb/Acre Winter Rye
 - 10 Lb/Acre Crownvetch
 - 20 Lb/Acre Perennial Ryegrass
 - Soil Supplements:
 - 10-20-20 Analysis Commercial Fertilizer 930 Lb/Acre
 - 38-0-0 Urea-Form Fertilizer 250 Lb/Acre
 - Wood Cellulose Fiber 1500 Lb/Acre.
 - Mulch Anchor - Netting May be Used as Mulch Anchor-Refer to 6.c & 6.d.
 - Emulsified Asphalt 200 Gallons/Acre or Terra Tack Used at Manufacturer's Recommended Rates.
 - Wood Cellulose 800 Lb/Acre.
 - Netting: Netting is to be Applied if Persistent Erosion Occurs on Slopes.
 - Repair any Gullied Areas.
 - Reseed and Refertilize Affected Area.
 - Apply Mulch at Rates Stated.
 - Anchor with Erosion Control Netting With the Following Properties: Uniformly Extruded Rectangular Plastic Mesh, 26 Lb/1000 S.F. Weight 1/2 inch X 1/2 inch Mesh Opening, Anchor Each Square Yard With Two Staples as Per PA D.O.T. Specs.
 - Anchor Small Areas With Jute Mesh.

HOUSE CONSTRUCTION NOTES:

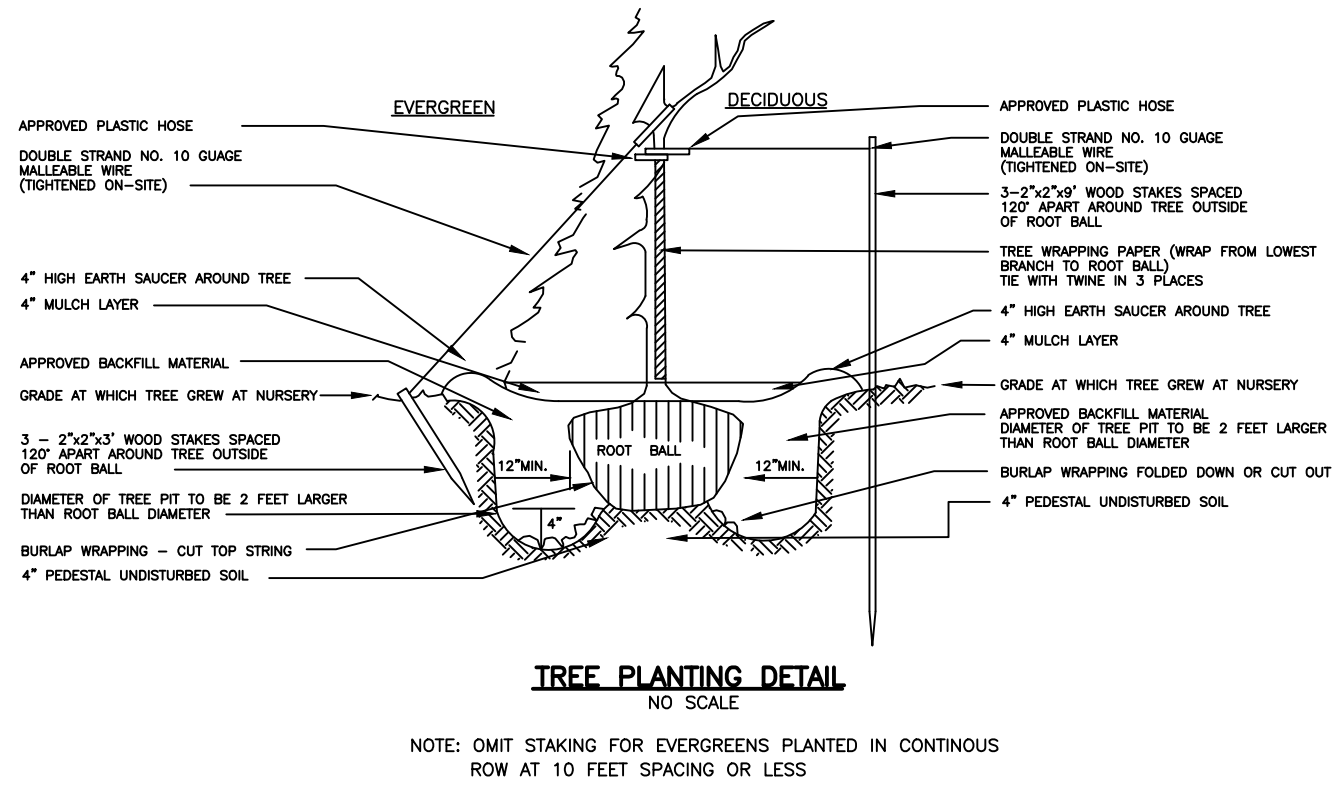
- Install silt fence where shown on the plan. Install Construction Barrier Fencing at perimeter of infiltration beds and install tree protection fencing as shown.
- Construction vehicles shall not traverse over infiltration bed area. Infiltration bed areas shall remain undisturbed until bed is constructed.
- Cut in driveway, apply layer of crushed stone and maintain as construction access to the house site.
- Install Storm Water Infiltration bed. Place orange construction fencing around infiltration bed area. Provide inlet filter bag at grate of debris trap while site remains disturbed. Sediment laden run-off shall not be allowed to enter the stone infill of the bed. Contact the Township a minimum of 2 days Prior to the start of Construction to allow for inspection.
- Construct house foundation. As soon as first floor decking is in place, backfill foundation and rough grade surrounding area.
- Any topsoil stockpile generated by ITEMS 2 through 4 shall be placed in an area not subject to erosion and a silt fence barrier shall be installed and maintained around the downslope perimeter.
- To all areas which earthmoving activities have ceased and will be subject to the action of earthmoving and other equipment, apply a mulch (wood chip - 2-3 tons per acre; hay or straw - 3 tons per acre). All other disturbed areas remaining open shall be temporarily seeded and mulched.
- Install underground utilities following procedures set forth in UTILITIES following final grading.
- Complete house construction and discharge roof drains to infiltration bed system.
- Permanent grass cover shall be established by seeding and mulching following final grading.
- Driveway is to be stabilized with crushed stone or paving following the completion of the house construction. Stone filter berms may be incorporated into the driveway if relatively clean. Remove if choked with sediment.
- Erosion and sediment control facilities are to be checked and properly maintained weekly and after each storm event. Sufficient quantities of silt fencing, crushed stone, straw bales, seeding and mulching should be readily available for remedial work if required.
- Silt fencing may be removed when the site is stabilized. Accumulated sediment may be spread at the site in areas not subject to erosion.
- Remove Inlet Filter Bag at storm water infiltration facilities.
- The Contractor is advised to become familiar with the "Erosion and Sediment Pollution Control Program Manual" by the Commonwealth of PA., Department of Environmental Resources, April 2000 edition.
- Copies of these plans must be available on site throughout construction.

FINAL

DATE	REVISION	SCALE	DATE	PROJECT
12/09/24	Revised Layout - Lots 1 & 2	1" = 20'	October 31, 2024	SEDIMENT & EROSION CONTROL PLAN PREPARED FOR
01/27/25	60' Width Twp Engineer Review, Waiver Requests			CARAMANICO HOMES, LLC
				HAVERFORD TOWNSHIP DELAWARE COUNTY, PA
				G.D. HOUTMAN & SON, INC.
				CIVIL ENGINEERS-LAND SURVEYORS LAND PLANNERS
				139 EAST BALTIMORE PIKE (610)565-6363
				MEDIA, PA 19063
				Sheet 4 of 6
				CARAMANICO-TWP LINE
				40055
				FILE
				19730

TREE PROTECTION REQUIREMENTS

1. Prior to any clearing or site disturbance, the Township requires a meeting with the applicant and/or site Contractor, to determine the methods to be implemented by the applicant to minimize tree loss. Applicant is required to follow standards as established in Section 170.
2. All trees and other vegetation to be preserved shall be protected from damage by construction fencing or other effective barriers approved by the Township. Fencing or barriers around trees shall be placed outside the critical root zone, unless otherwise approved by the Township. Tree Protection fencing must be installed and approved by the Township prior to the start of any clearing or earth disturbance and monitored periodically. The tree protection fencing shall be removed only after all construction activities that may impact tree roots are completed.
3. When disturbance within the critical root zone is unavoidable, applicants shall minimize encroachment and use the best available methods as approved by the Township to minimize damage and preserve trees. These methods may include, but shall not be limited to, utility tunneling, use of Geo-textiles, mulching, hand root pruning, and soil aeration. Applicants shall consult references such as a Guide to Preserving Trees in Development Projects, published by the Penn State College of Agricultural Sciences Cooperative Extension.



TREE REPLACEMENT:

- TREES OVER 30" DBH ARE TO BE REPLACED INCH FOR INCH OF DBH REMOVAL.
- TREES UNDER 30" DBH ARE TO BE REPLACED 1 INCH TO 4 INCHES OF DBH REMOVAL

TREES REMOVED 30" DBH OR LESS	TREES REMOVED 30" DBH OR MORE
26" DBH	30" DBH X 2
28" DBH	40" DBH
20" DBH	TOTAL 100" DBH
24" DBH	
20" DBH	
18" DBH	
16" DBH	
28" DBH	
TOTAL 124" DBH	

REQUIRED REPLACEMENT:

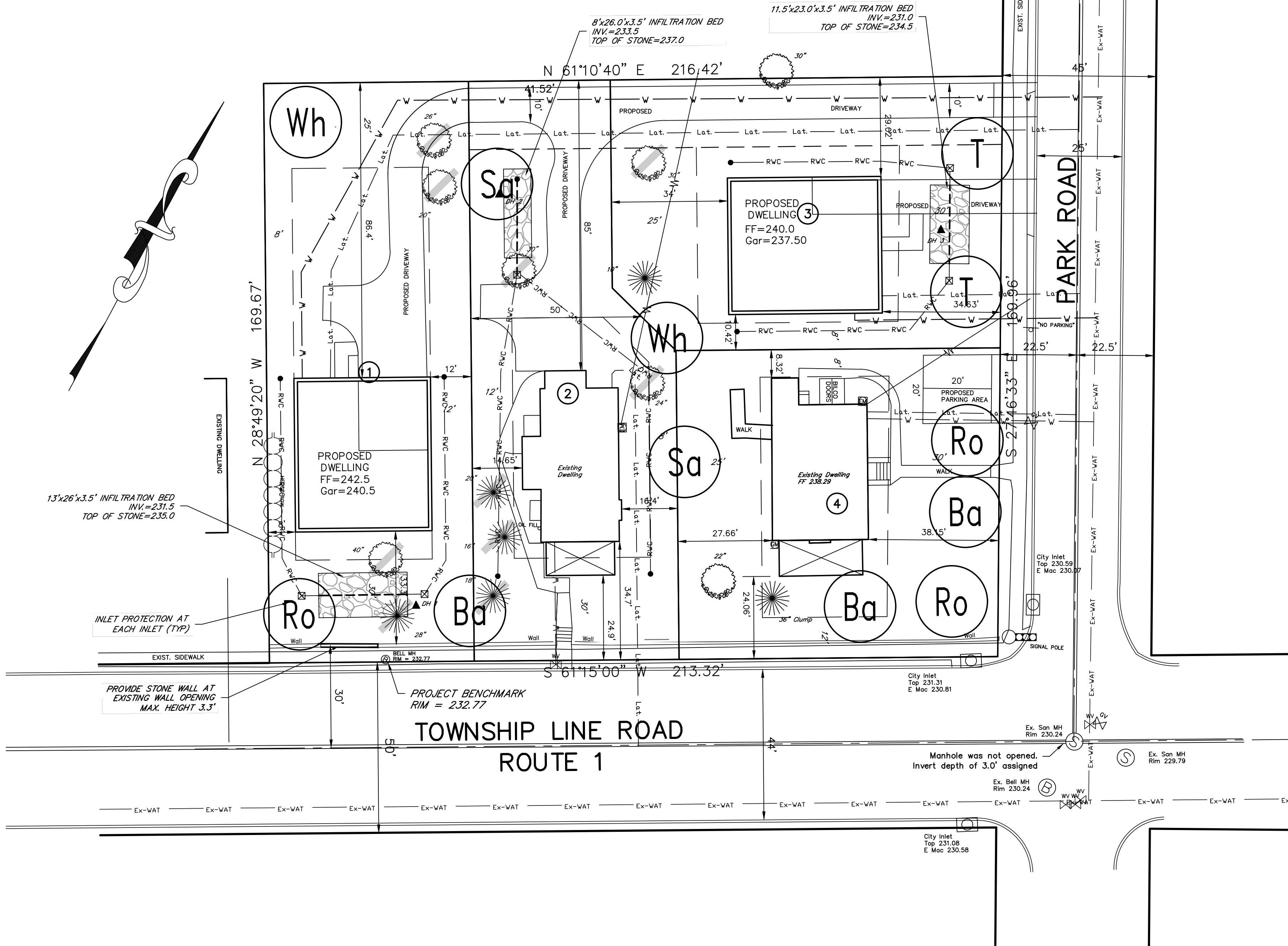
124/4= 31 DBH

REQUIRED REPLACEMENT:

100"/1= 100 DBH

TOTAL REPLACEMENT REQUIRED - 31+100=131 DBH

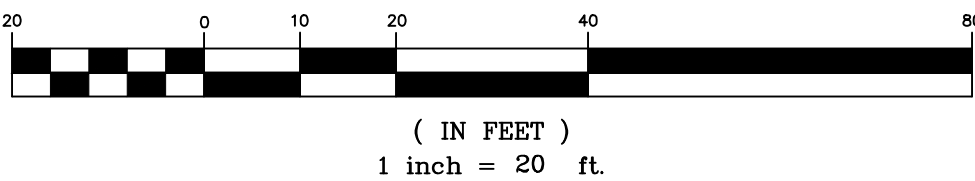
PLAN PROPOSES 12 (2" DBH) TREES TO BE PLANTED = 24" DBH REPLACEMENT
REMAINING 107" DBH AT \$250.00 PER 2" TREE = 54 TREES @ 2" DBH = \$13,500
PAYMENT FOR FEE IN-LIEU OF TREE PLANTING



LEGEND

- EXISTING UTILITY POLE
- EXISTING WATER VALVE
- EXISTING WATER SERVICE
- EXISTING SANITARY LATERAL
- EXISTING GAS VALVE
- EXISTING DECIDUOUS TREE
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- ROOF LEADER PIPE
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GRAPHIC SCALE



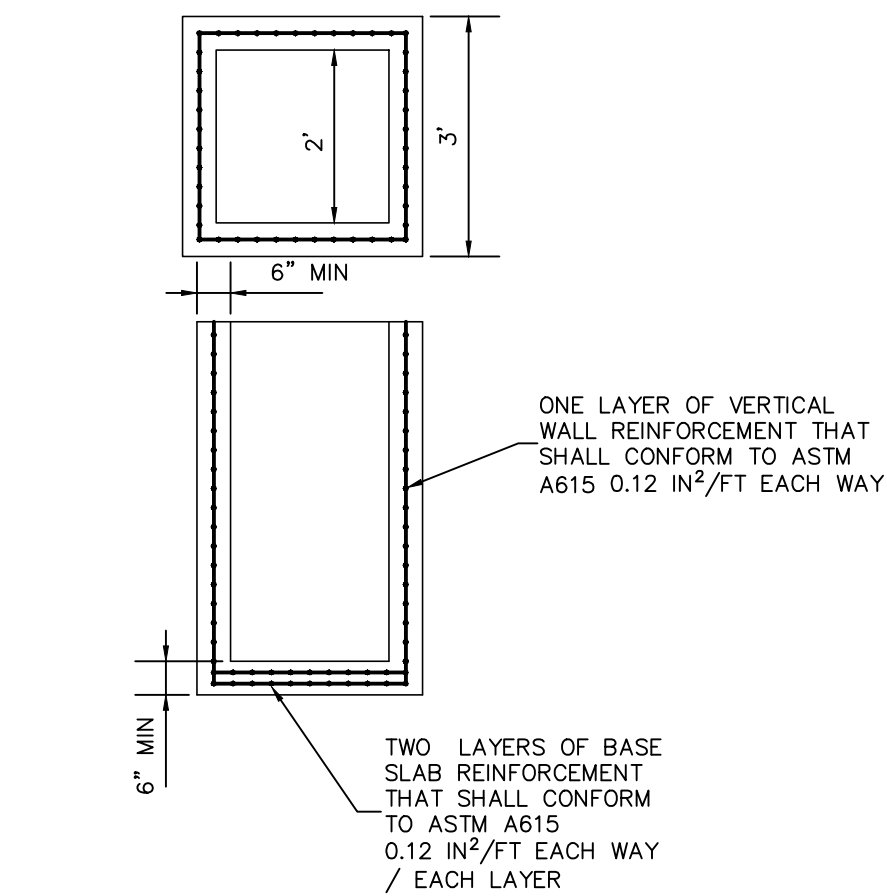
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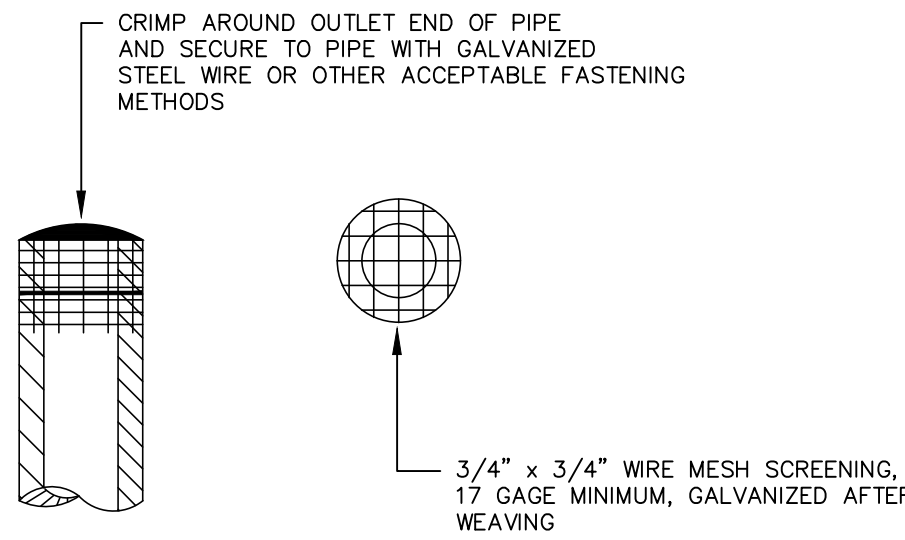
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01/27/25	Twp Engineer Review, Waiver Requests	DATE October 31, 2024	CARAMANICO HOMES, LLC
			Haverford Township Delaware County, PA
		G.D. HOUTMAN & SON, INC. CIVIL ENGINEERS—LAND SURVEYORS LAND PLANNERS 139 EAST BALTIMORE PIKE (610)565-6363	Sheet 5 of 6 PROJECT CARAMANICO-TWP LINE WORK ORDER 40055 FILE 19730

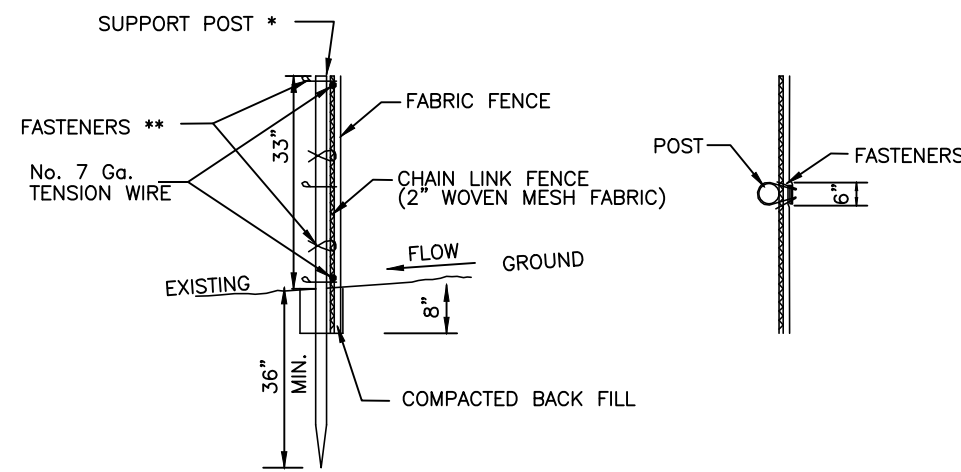


NOTES:
1. MATERIAL AND CONSTRUCTION SHALL COMPLY WITH PENN D.O.T. PUB. 408.
2. CLASS AA CONCRETE 4000 PSI @ 28 DAYS
3. REINFORCEMENT SHALL COMPLY WITH ASTM A615

2'x2' PRE-CAST INLET DETAIL



LEAF SCREEN DETAIL



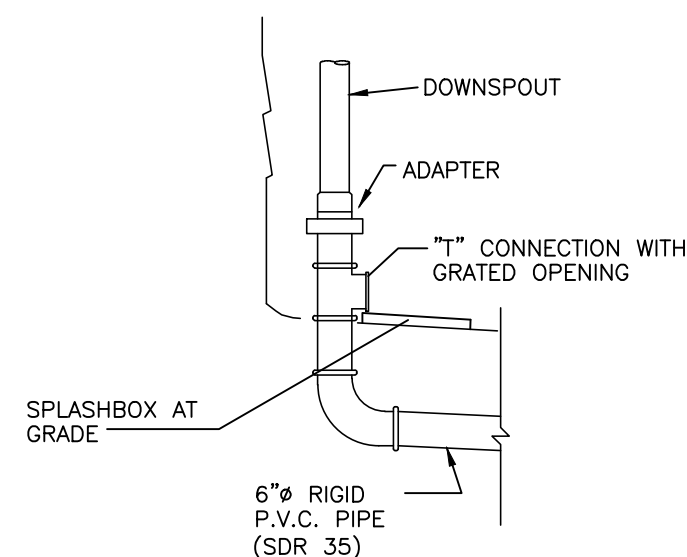
NOTE: NO. 7 GA. TENSION WIRE TO BE INSTALLED HORIZONTALLY AT TOP AND BOTTOM OF CHAIN LINK FENCE.

- * Posts spaced @ 10' max. use 2 1/2" Dia. Galvanized or aluminum posts.
- ** Chain link to post fasteners spaced @ 14" max. Use No. 6 Ga. aluminum wire or No. 9 steel galvanized performed clips. Chain link to tension wire fasteners spaced @ 60" max. Use No. 10 Ga. Galvanized steel wire. Fabric to chain link fasteners @ 24" max. G. to G.

Filter fabric fence must be placed at level grade, both ends of the barrier must be extended at least 8 feet up slope as 45 degrees to the main barrier alignment.

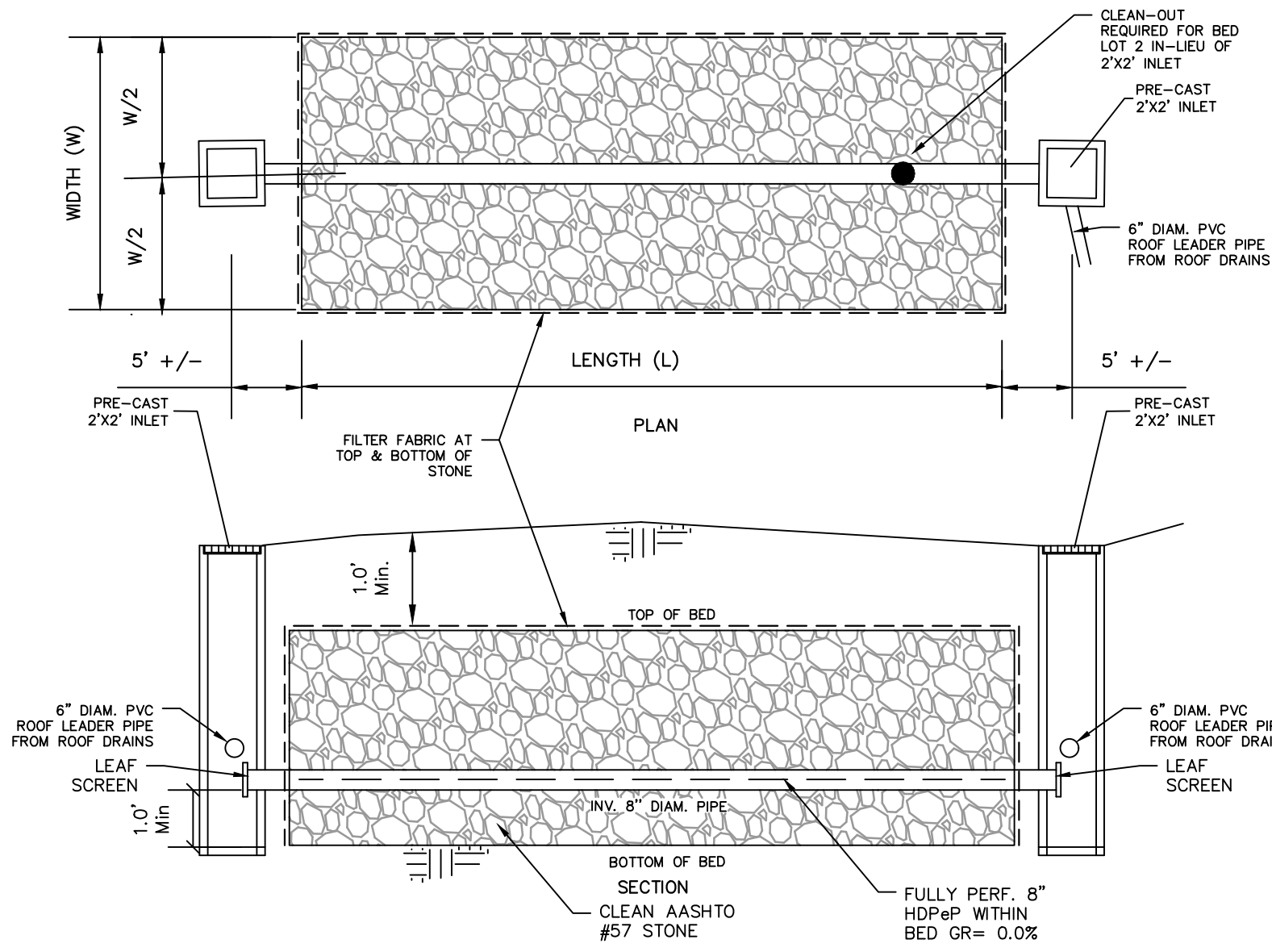
Sediment must be removed when accumulations reach 1/2 the above ground height of the fence.

SUPER FILTER FABRIC FENCE DETAIL



NOTE: ALL ROOF DRAINS FROM THE DWELLINGS SHALL BE DIRECTLY CONNECTED TO THE PROPOSED INFILTRATION BEDS AS SHOWN.

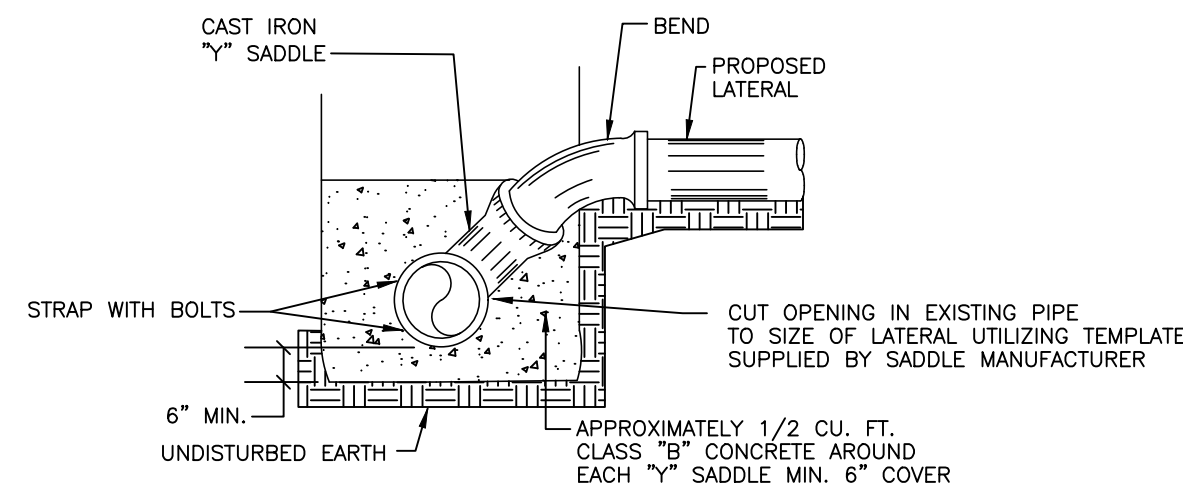
ROOF DRAIN CONNECTION DETAIL



LOCATION	TOP OF ORATE ELEV.	INV. ROOF LEADER PIPE ELEV.	INV. PIPE TO BED ELEV.	BOTTOM OF BOX ELEV.	TOP OF BED ELEV.	BOTTOM OF BED ELEV.	BED LENGTH (L)	BED WIDTH (W)	BED DEPTH (D)
LOT #1	238.0	237.5	233.5	232.5	231.5	230.5	13.0'	26.0'	3.5'
LOT #2	239.5	234.0	234.0	233.0	237.0	233.5	8.0'	26.0'	3.5'
LOT #3	235.7	235.8	233.0	232.0	231.0	234.5	11.5'	23.0'	3.5'

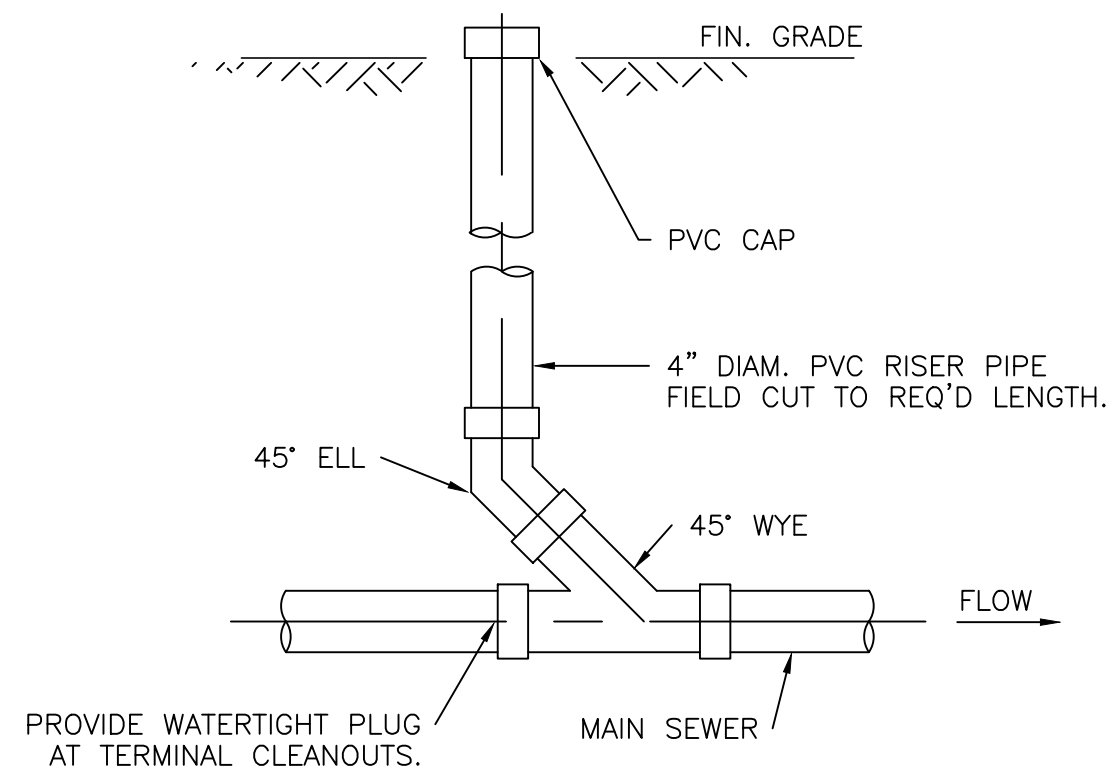
- NOTES:
- TOWNSHIP SHALL BE NOTIFIED A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION FOR INSPECTION.
 - ALL EQUIPMENT SHALL BE KEPT OFF INFILTRATION BED AREA TO PREVENT ANY COMPACTION.
 - GEOTEXTILE SHALL BE PLACED AT ALL STONE/SOIL INTERFACES AT THE TOP AND SIDES OF THE INFILTRATION BED.
 - ALL GEO-TEXTILE SHALL CONFORM TO P.A.D.O.T. CLASS 1 SPECIFICATIONS AND SHALL HAVE A MINIMUM OVERLAP OF 12".
 - ALL STONE SHALL BE CLEAN WASHED AASHTO #57 STONE.
 - ALL PIPE WITHIN STONE SHALL BE FULLY PERFORATED AND SHALL BE RIDGED SCHD. 40 PVC OR SDR 35 PIPE OR ADS N-12 PIPE. ALL OTHER PIPE SHALL BE RIDG SOLID SCHD 40 PVC, SDR 35 PIPE OR ADS N-12 PIPE.
 - BOTTOM OF BED SHALL BE SCARIFIED PRIOR TO THE PLACEMENT OF STONE.
 - ALL ROOF DRAINS SHALL BE PIPED DIRECTLY TO INFILTRATION BED
 - LEAF SCREEN SHALL BE PROVIDED ON ALL OUTLET PIPES TO INFILTRATION BED

INFILTRATION BED DETAIL - LOTS 1-3



NOTE: SERVICE BEND AND Y BRANCH SHALL BE EITHER 4" OR 6" IN ACCORDANCE WITH SIZE OF SERVICE

Y SADDLE CONNECTION



CLEANOUT DETAIL

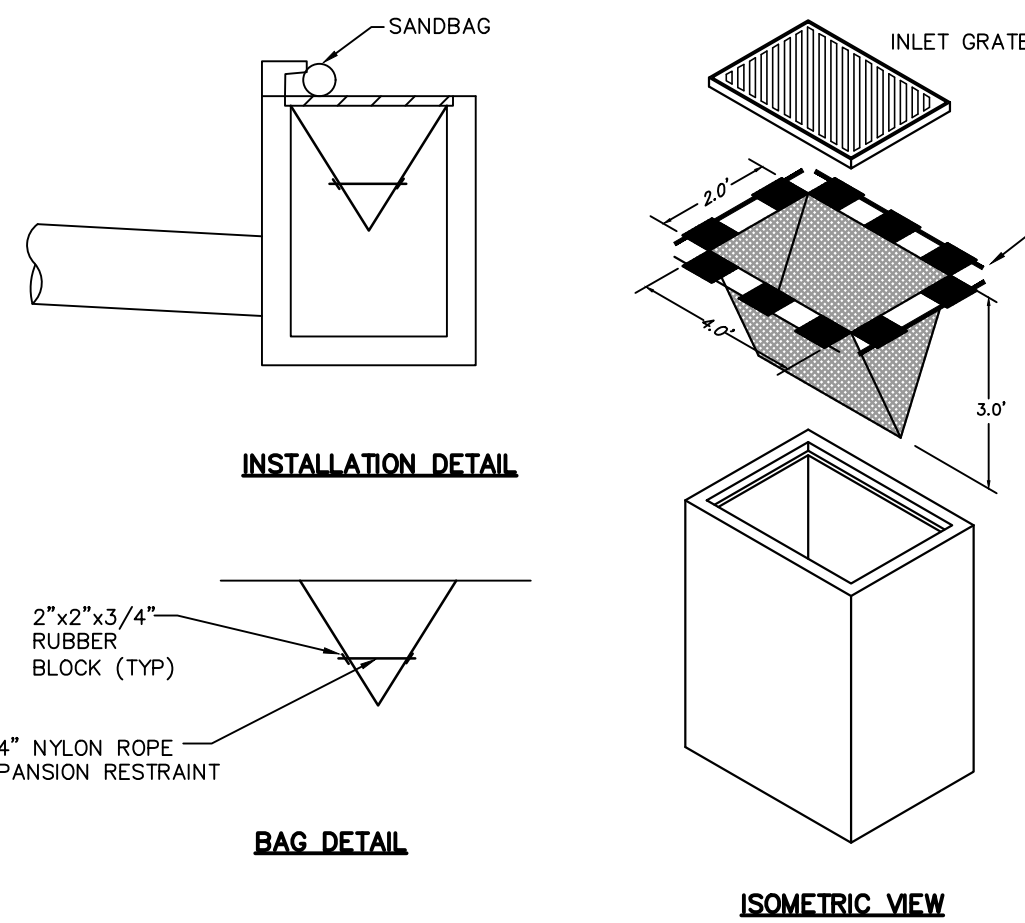
NOT TO SCALE

The information shown on this plan is the result of a professional service rendered by G.D. Houtman & Son, Inc.. Reproduction of this plan without approval of G.D. Houtman & Son, Inc. is not permitted. The reproduction of a copy of this plan for the purpose of creating additional copies or revising said plan shall, in no circumstance, be approved. Certification for the work contained herein is limited to the entity for whom the work was performed as of the date shown on the plans.

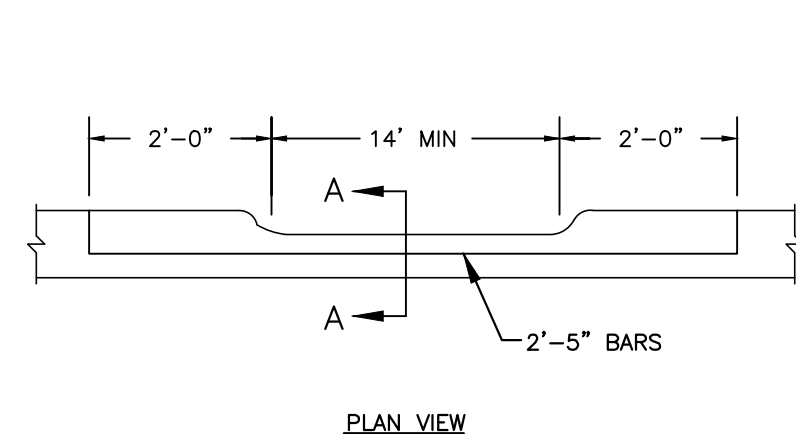
Note: All locations of existing utilities shown on the plan have been developed from existing utility records and / or above ground examination of the site. Completeness or accuracy of locations and depth of underground utilities or structures cannot be guaranteed. Contractor must verify location and depth of all underground utilities and facilities before start of work, as per PA Act 181 as per the latest amendment of PA Act 287 of 1974, Effective Mar. 29, 2007

G. D. Houtman & Son, Inc. reserves its common law copyright and all other proprietary rights in these plans. All drawings, specifications and copies thereof are to remain property of G. D. Houtman & Son, Inc. They are to be used only in respect to this project. They are not intended or represented to be suitable for reuse by owner or others on extensions of project or any other project. They are not to be assigned to any third party without first obtaining written permission by G.D. Houtman & Son, Inc. Any reuse without written permission for the specific purpose intended will be at the third party's sole risk and without liability or legal exposure to G. D. Houtman & Son, Inc. The third party shall further indemnify and hold harmless G. D. Houtman & Son, Inc. from all claims - damages, losses and expenses arising thereto or resulting therefrom.

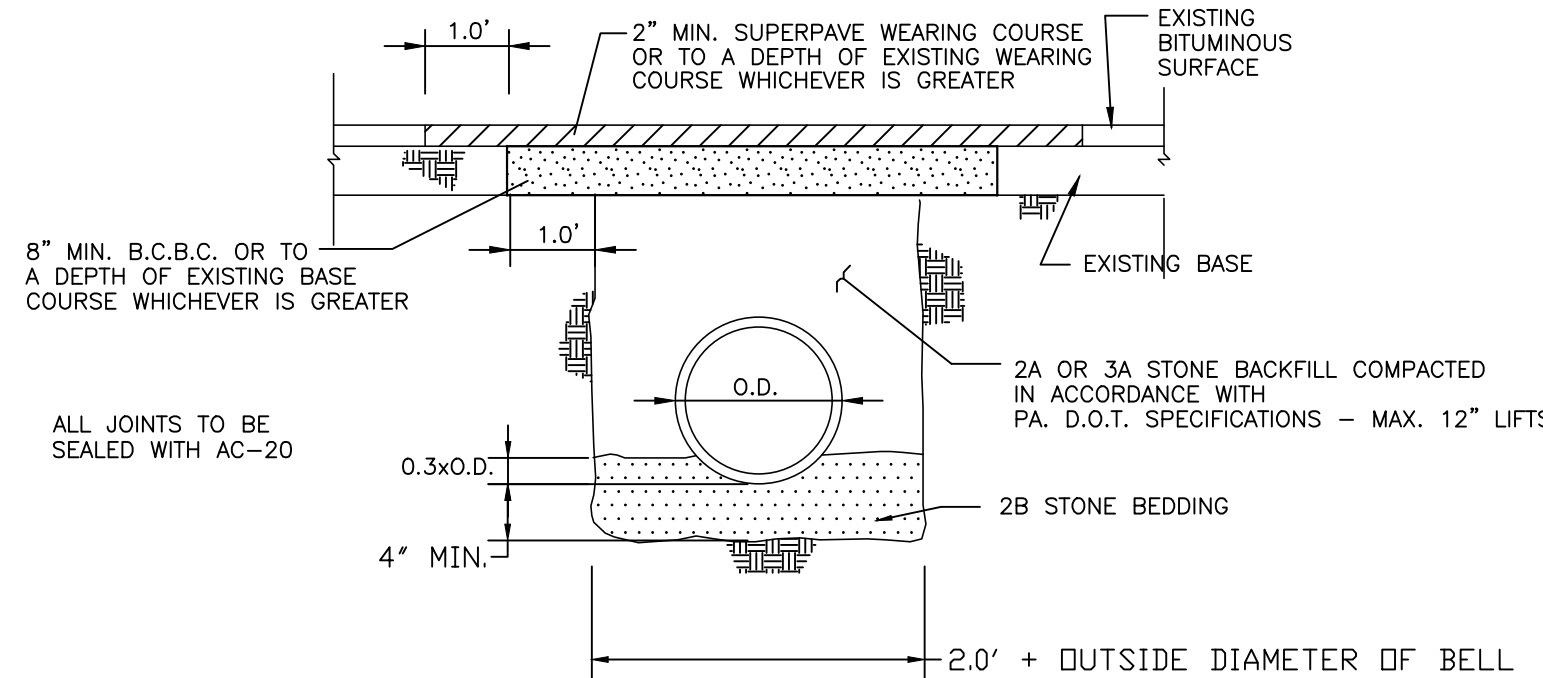
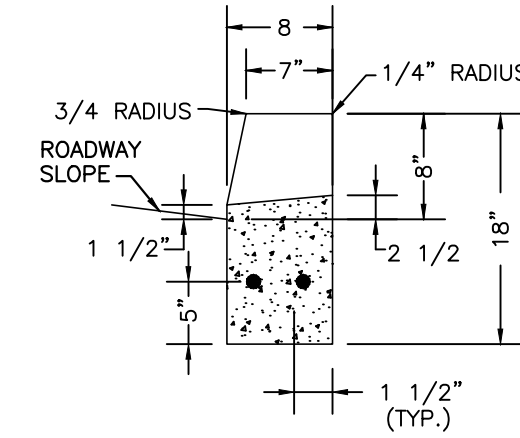
These plans were prepared to obtain Subdivision/Land Development approval from the governing Municipality and to obtain certain permits from state and federal agencies. If a surveyor or engineer other than G. D. Houtman & Son, Inc. is contracted to perform construction stake-out services, said surveyor or engineer shall assume the responsibility for verifying dimensions, elevations, presence of underground utilities, utility interference, building site, etc., for coordinating information shown on lay-out plans, grading plans, utility plans, profiles, and details, and for coordinating these plans with plans prepared by others such as utility companies, architectural building plans, landscape plans, lighting plans and etc.



DETAIL - FILTER BAG INLET PROTECTION CURBED ROADWAY

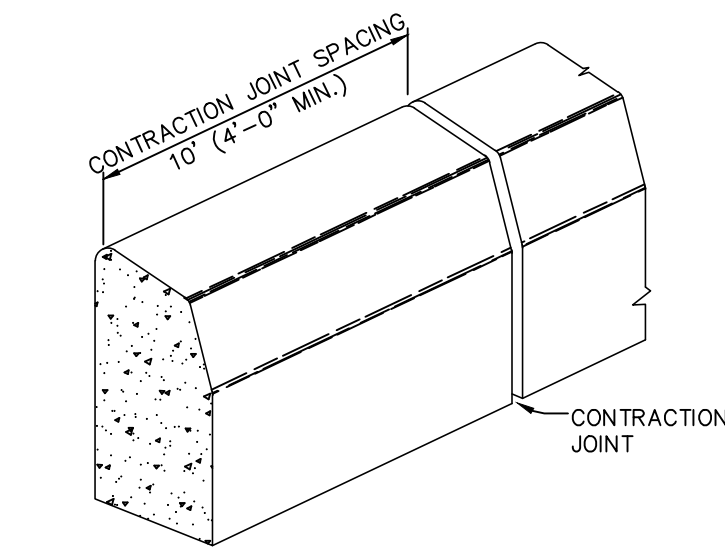
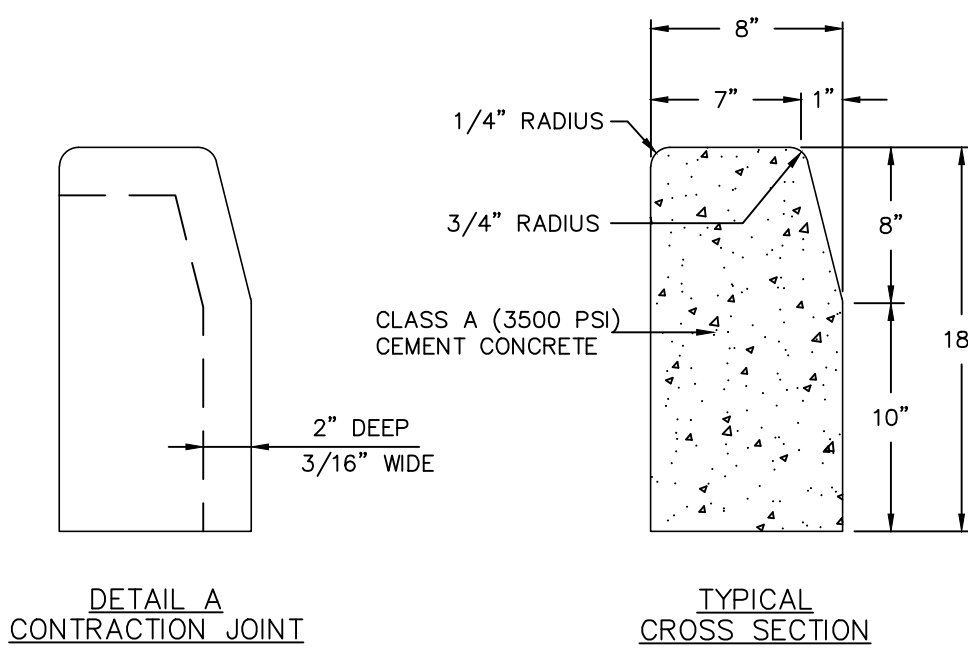


DEPRESSED CURB FOR DRIVES



TOWNSHIP ROAD TRENCHING AND RESTORATION DETAIL

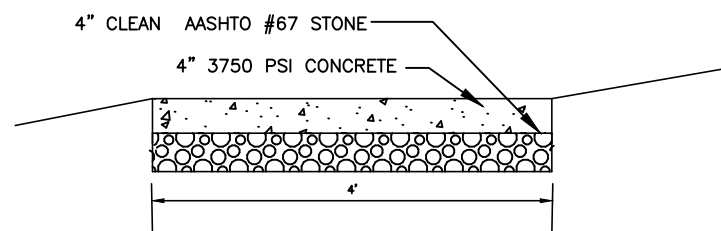
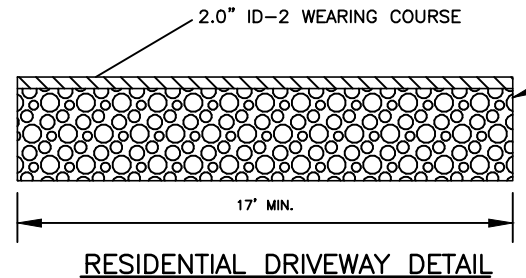
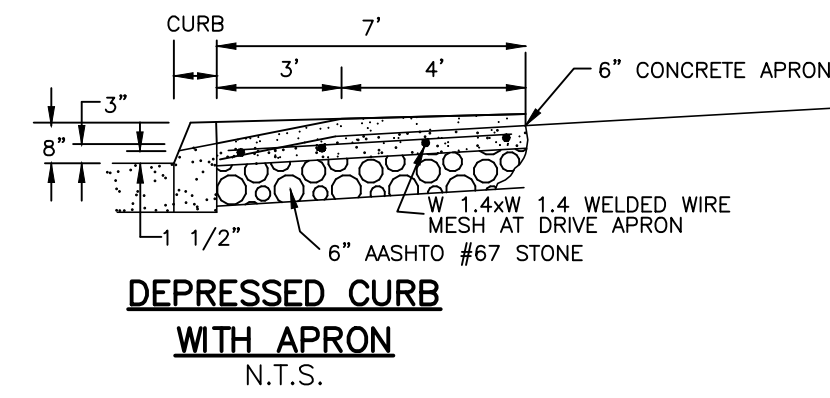
NOTES: ROAD RESTORATION SHALL BE IN CONFORMANCE WITH SECTION 157-30 OF HAVERFORD CODE. EXPOSED VERTICAL AND HORIZONTAL SURFACES SHALL BE PREPARED AS PER PUB. 408, SECT. 401.3(f).



PLAIN CEMENT CONCRETE CURB

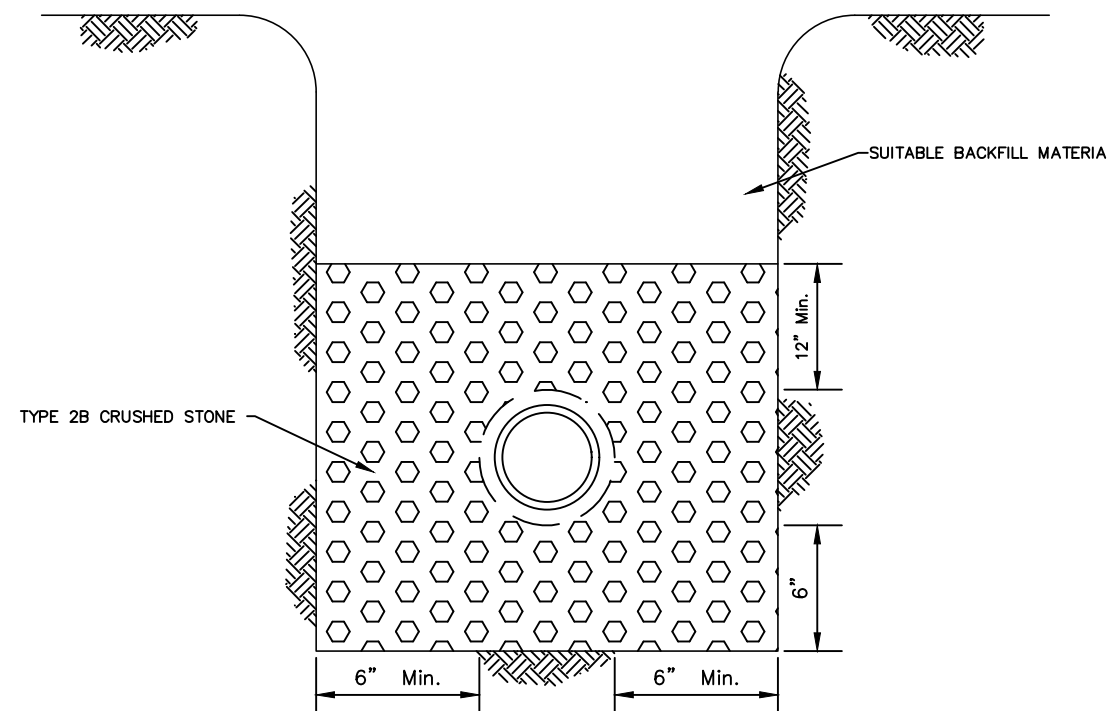
NOT TO SCALE

NOTE:
1. Concrete to have minimum 28 day compressive strength of 3,750 psi.



SIDEWALK DETAIL

NOTES:
1. Concrete to have minimum 28 day compressive strength of 3,750 psi.
2. Concrete to be placed in a minimum of 4 ft depth.
3. Construction shall be in place 2 weeks of 28 ft.

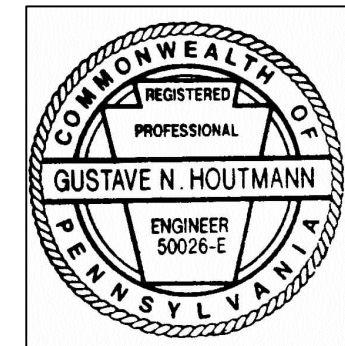


TYPICAL SANITARY SEWER BEDDING DETAIL

FINAL

CONSTRUCTION DETAILS PLAN
PREPARED FOR
CARAMANICO HOMES, LLC
HAVERFORD TOWNSHIP
DELAWARE COUNTY, PA

G.D. HOUTMAN & SON, INC.
CIVIL ENGINEERS-LAND SURVEYORS
LAND PLANNERS
139 EAST BALTIMORE PIKE MEDIA, PA 19063
(610)565-6363



Sheet 6 of 6
PROJECT
CARAMANICO-TWP LINE
WORK ORDER
40055
FILE
19730



TOWNSHIP OF
HAVERFORD

DELAWARE COUNTY
1014 DARBY ROAD
HAVERTOWN, PA 19083-2551
(610) 446-1000

JUDY TROMBETTA, PRESIDENT
KEVIN MCCLOSKEY, ESQ., VICE PRESIDENT
DAVID R. BURMAN, TWP MANAGER/SECRETARY
AIMEE CUTHBERTSON, CPA, ASS'T TWP MANAGER
JOHN F. WALKO, SOLICITOR
PENNONI ASSOCIATES INC., ENGINEER

WARD COMMISSIONERS
1ST WARD BRIAN D. GONDEK, ESQ.
2ND WARD SHERYL FORSTE-GRUPP, PHD.
3RD WARD KEVIN MCCLOSKEY, ESQ.
4TH WARD JUDY TROMBETTA
5TH WARD LAURA CAVENDER
6TH WARD LARRY HOLMES, ESQ.
7TH WARD CONOR QUINN
8TH WARD GERARD T. HART, MD
9TH WARD MICHAEL MCCOLLUM

February 25, 2025

HAVTT 30261

Jaime Jilozian, Director of Community Development
Haverford Township
1014 Darby Road
Havertown, PA 19083-2251

**RE: Minor Subdivision Plan
Caramanico Homes, LLC – 223 E. Park Road – 2nd Review**

Dear Ms. Jilozian:

As requested, we have reviewed the following prepared by G.D. Houtman & Son, Inc. in connection with the referenced property:

- *“Caramanico Homes, LLC”* (six sheets) dated October 31, 2024, last revised January 27, 2025.
- *“Stormwater Management Calculations for Caramanico Homes, LLC”* dated October 31, 2024, last revised January 27, 2025.
- Supporting Documentation

The applicant, Caramanico Homes LLC, proposes to reverse subdivide two (2) existing lots (folio nos. 22-02-01078-00 and 22-02-00893-00) and subdivide into four (4) new lots at the referenced property. A new single-family dwelling and driveway are proposed on Lots 1-3, and the existing building on Lot 4 is proposed to remain. Individual infiltration beds for each new dwelling are proposed for stormwater management. The property is within the R-4s Residential Zoning District.

The applicant is requesting the following waivers:

- From §160-5.B(3)[j](i) regarding the requirement to widen the existing rights-of-way of Township Line and Park Roads.
- From §160-5.C(4) regarding the requirement to provide payment of a fee-in-lieu of providing open space.

The following comments remain outstanding from our December 2, 2024 review:

ZONING

1. The applicant should confirm conformity of proposed setback lines with the median setback lines of existing structures on the same side of the street and within 300 feet of the proposed new construction. (§182-715)

SUBDIVISION AND LAND DEVELOPMENT

2. Horizontal sight distance should be provided for each proposed driveway. (§160-4.E(5)[e](12))
Sight distances could not be located on the plan.
3. The minimum right-of-way width for residential/minor collector streets is 50-feet. (§160-5.B(3)[j](1)) The applicant appears to be providing an additional 2.5 feet of right-of-way for the length of the property. The record plan should clearly indicate dedication of this right-of-way on Park Road. **The applicant has requested a waiver from this requirement.**
4. In each residential district involving the creation of two (2) or more new building lots, land shall be required to be set aside for open space and/or parks and recreational facilities, or a fee-in-lieu requested. (§160-5.C(2,4)) **The applicant has requested a fee-in-lieu for this requirement.**

STORMWATER MANAGEMENT

5. Existing water and sanitary sewer services should be indicated on the plan for proposed Lot 4. (§78-25.B(5)) **Partially addressed. The laterals for Lots 2 & 4 are to be identified as existing. Additionally, the following note is to be added to the plan: *Where an existing sewer lateral is available for reuse subsequent to the demolition or removal of a previously existing building, the lateral may be reused provided that it is inspected by the Township Engineer and is found to be adequate in terms of infiltration/inflow and general conditions.*** (§149-3.C(8))
6. A BMP Maintenance Agreement shall be executed and a contribution of \$2,200.00 per lot to the Township Stormwater Control and BMP Operation and Maintenance Fund shall be made. (§78-49, §78-51)

GENERAL

7. A Sewage Facilities Planning module or exemption will be required. (§160-4.E(5)[d])
8. Additional spot elevations should be provided to verify the slopes of proposed driveways are consistent with Township Design Standards. **Partially addressed. Additional spot elevations shall be provided at all driveways to verify the slope of the sidewalk/apron do not exceed Township Design Standards.**
9. A Township Road Opening Permit will be required for the driveway and utility installations on E. Park Road.
10. Roadway restoration shall conform to the requirements §157-30. The road restoration detail shall be revised accordingly. **Partially addressed. Given the number of utility cuts, the roadway restoration shall be completed in conformance with §157-30 G(2). A note indicating this should be added to the plan.**

11. A tree removal permit is required for removal of the existing trees on site. (§170-4.B) All proposed landscaping and tree replacement should be reviewed by the Township Shade Tree Commission.
12. The applicant should indicate how the openings in the wall along Township Line Road will be addressed. **Partially Addressed. A detail for the wall should be provided on the plans.**

The following comments are based on the most recent revisions:

13. **The building envelope for Lot 3 should be properly indicated on the plan and the Zoning table updated accordingly. In addition, the entire building envelope for Lot 2 should be indicated. (§182-206.C)**
14. **Supporting hydrographs for the pre-development and bypass drainage areas should be provided to verify consistency with the peak rate summary table included in the stormwater management calculations. (§78-25.A(3))**
15. **The plans should indicate the existing utility poles on Park Avenue.**

Should you have any further questions or comments, please contact the undersigned.

Sincerely,

PENNONI



Charles Faulkner, PE
Senior Engineer

CF/brg

cc: Caramanico Homes LLC
Gustave N. Houtmann, PE – G.D. Houtman & Son, Inc.

U:\Accounts\HAVTT\HAVTT30261 - Caramanico Homes LLC- 223 E. Park Road\DOCUMENTS\HAVTT 30261- 223 E. Park Road Subdivision Plan Ltr.docx

JAMES G. BUCKLER
ATTORNEY & COUNSELOR AT LAW

6 ROUSE DRIVE
AVONDALE, PA 19311
FAX (610) 891-0254
PHONE (610) 565-7300

March 31, 2025

Ms. Jamie Jilozian,
Director of Community Development
Haverford Township
1014 Darby Road
Havertown, PA 19083-2251

Re: Caramanico Homes, LLC
223 E. Park Road/ 112 Township Line
Request for Waivers

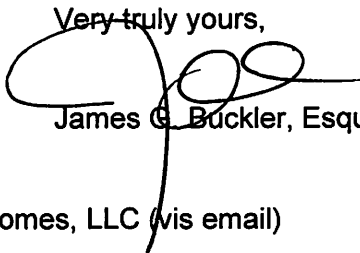
Dear Ms. Jilozian:

With regard to proposed subdivision of the above-noted property currently pending before the township for review, the applicant is requesting the following waivers, pursuant to section 160-10 of the Haverford Township Subdivision and Land Development Ordinance:

1. A waiver from the requirement contained in Section 160 5.B (3)(j)(i) for the widening of the existing rights-of-way of Township Line and Park Roads.
2. A waiver from the requirements contained in Section 160-5.C (4) regarding the provision of open space. The applicant proposes to pay a fee-in-lieu of open space in accordance with the provisions of the ordinance.

If you have any questions please give me a call. Thanking you in advance for your attention to this matter.

Very truly yours,



James G. Buckler, Esquire

Cc: Dan Caramanico, Caramanico Homes, LLC (via email)
Gus Houtmann, P.E.(via email)

April 2, 2025

Dave Burman- Township Manager
Haverford Township
1014 Darby Rd.
Haverford, PA 19083

RE: Haverford Township Free Library Renovation & Addition Project- Construction Change Orders

Mr. Burman,

Below is a summary of change orders we have reviewed and are recommending for approval by the Board of Commissioners. There is an explanation of each change as well as the detailed back-up for the costs.

For **Rycon Construction** contract these change order requests total an add of **\$26,541.21 (Twenty-six thousand five hundred forty-one dollars & twenty-one cents)** and will be part of a change order to their contract.

For **Dolan Mechanical (HVAC)** contract these change order requests total an add of **\$14,522.63 (Fourteen thousand five hundred twenty-two dollars & sixty-three cents)** and will be part of a change order to their contract.

For **AJM Electric (Electrical)** contract these change order requests total an add of **\$15,969.00 (Fifteen thousand nine hundred sixty-nine dollars & zero cents)** and will be part of a change order to their contract.

The remaining project contingency is currently at \$55,652.00.

Please let us know if you have any questions or comments.

Sincerely,

Kenneth C. Matthews

Kenneth C. Matthews
C.B. Development Services, Inc.

CC: Aimee Cuthbertson, Donna Reeves

Rycon Construction Change Request for an add of \$3,295.95.

The cost included is to fix an existing steel column baseplate at the front of the building. The existing baseplate was connected to a footer demolished for a new foundation wall and had to be replaced prior to the new concrete footer being poured. The cost submitted and attached for reference is fair and reasonable.

Rycon Construction Change Request for an add of \$5,217.45.

The cost included is due to RFI #148 which called for an existing steel column at the front of the building to be reinforced in field to accept the new front high roof column. The contract documents called for the new column to be installed directly over the existing column. The cost submitted and attached for reference is fair and reasonable.

Rycon Construction Change Request for an add of \$6,109.95.

The cost included is due to RFI #147 which called for additional in-wall masonry support needed to accept the new steel. Upon the wall being demolished, it was determined the wall was not constructed as shown on the original plans and additional support would need to be added. The cost submitted and attached for reference is fair and reasonable.

Rycon Construction Change Request for a credit of (\$2,596.04).

The cost included is a credit back to the owner from Rycon for the roof edge metal at the 1979 building existing roof no longer being installed by them. This edge metal will now be included in the Costar Roofer's scope of work. The actual cost from the Costar Roofer for this scope will be submitted for May board approval. The cost submitted and attached for reference is fair and reasonable.

Rycon Construction Change Request for an add of \$3,202.50.

The cost included is for additional wood blocking needed at the new roofing overlay of the 1979 building mentioned above. Due to the additional insulation being added, the perimeter had to be built up to match the new roof line to accept the metal edge fascia. The cost submitted and attached for reference is fair and reasonable.

Rycon Construction Change Request for an add of \$2,361.45.

The cost included is due to additional steel reinforcement and masonry needed at the existing old bank building parapet walls as directed by the project Structural Engineer. Isolation cracks were found after demolition of the existing roof which needed to be addressed prior to the new roof being installed. The cost submitted and attached for reference is fair and reasonable.

Rycon Construction Change Request for an add of \$3,213.11.

The cost included is due to a void noticed by the architect between the new addition concrete slab and the new curtainwall. Insulation needed to be added at this condition which was not shown on the contract documents. The cost submitted and attached for reference is fair and reasonable.

Rycon Construction Change Request for an add of \$2,625.00.

The cost included is due to RFI #143 which called for additional work needed at the existing roof joists to tie them into the new steel beams as directed by the project Structural Engineer. The cost submitted and attached for reference is fair and reasonable.

Rycon Construction Change Request for an add of \$3,111.84.

The cost included is due to the demolition needed of the existing concrete grade beams at the front entrance so the new foundation walls could be installed. This demolition was not shown on the contract documents. The cost submitted and attached for reference is fair and reasonable.

Dolan Mechanical (HVAC) Construction Change Request #8 for an add of \$2,749.50.

The cost included is for Dolan to startup the existing boilers. The boilers were installed in 2022 outside of this project's scope of work and are being reused as part of this project. They did not own startup of the existing boilers as it was not shown on the contract documents. The cost submitted and attached for reference are fair and reasonable.

Dolan Mechanical (HVAC) Construction Change Request #13 for an add of \$11,773.13.

The cost included is for BACnet cards to be provided for the existing boilers needed for the boilers to be controlled by the new building automation system for the HVAC. The cards were not included in the contract documents but are needed for the system to operate. The cost submitted and attached for reference are fair and reasonable.

AJM Construction Change Request #18 for an add of \$6,325.00.

The cost included is additional power needed for the three mini-split air conditioning units in the lower level. The contract documents did not show the power feeds to these units. The cost submitted and attached for reference is fair and reasonable.

AJM Construction Change Request #19 for an add of \$9,644.00

The cost included is for additional light fixtures from Bulletin 13. The previously approved change order did not have all of the light fixtures required included in that change so this change is for the balance of the fixtures needed. The cost submitted and attached for reference is fair and reasonable.